

Select Inspect

Property Consultants, LLC

Prepared exclusively for:
Our Client



at: **10777 Freedom; Mytown, TX**

*The greatest compliment I can receive is a referral from you,
to a friend, family member, or coworker.*

Thank you for choosing Select Inspect.



Select Inspect Copyright 2007

This report is exclusive property of the client named on the cover page, and may not be used by others without direct client permission

Select Inspect Property Consultants LLC

2001 Reston McKinney, TX 75070

PROPERTY INSPECTION REPORT

Prepared For:

Our Client

(Name of Client)

Concerning:

10777 Freedom

Mytown, Texas

(Address or Other Identification of Inspected Property)

By:

Bruce W. Carr; TREC #5281

Tuesday, December 18, 2007

ASHI Member # 211804

(Name and License Number of Inspector)

(Date)

Not Applicable:

(Name, License Number, and Signature of Sponsoring Inspector, if required)

The inspection of the property listed above must be performed in compliance with the rules of the Texas Real Estate Commission (TREC).

The inspection is of conditions which are present and visible at the time of the inspection, and all of the equipment is operated in normal modes. The inspector must indicate which items are in need of repair or are not functioning and will report on all applicable items required by TREC rules.

This report is intended to provide you with information concerning the condition of the property at the time of inspection. Please read the report carefully. If any item is unclear, you should request that the inspector provide clarification.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any previous inspection or engineering reports, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, remodeling, additions or other such activity have taken place at this property.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary reader of this information should hire a licensed inspector to perform an inspection to meet your specific needs and to obtain current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

This report is prepared exclusively for the client named at the top of this page. Reliance of information within this document by third parties is not permissible. This report is non-transferable and is not to be used for insurance or warranty underwriting or reference, and is not acceptable for use by subsequent or potential buyers of this property, or any persons other than those named above.

Important related documents are provided with this report. The information at the end of this report and in the "Select Inspect Guide to Your Home Inspection" (available at www.SelectInspect.com) is an integral part of this report, and should be kept with this report for future reference. Select Inspect performs the home inspection to the standards of the Texas Real Estate Commission and standards of practice of the American Society of Home Inspectors, unless otherwise noted.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warranties are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare components and conditions to "code" or determine if components and conditions are compliant to past or current code requirements. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. If the inspector suspects a component to be involved in a recall, we will attempt to identify the component and offer a route for you to find more information on that system. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

Items marked only as "inspected" were found to be operating as intended, relative to age and function, and not having significant, obvious defect or unsafe conditions at the time of inspection. Items marked as "not inspected" were not inspected; if necessary, a comment as to why the component was not inspected will be provided. If a component is marked "not present", the item was not discovered installed and operational at the property.

If a component is listed "in need of repair", the component or condition was found to be amiss & or unsafe in the opinion of the inspector or as required by TREC & or ASHI standards. If the client has any concerns about items noted in the report the client should have an experienced professional in the related field examine all related components of that entire system, prior to closing. A qualified licensed, bonded professional of your choosing should be contracted to make all necessary repairs. After repairs have been made, the client should have the company or person performing the repairs provide documentation of all items examined, repaired / replaced, and provide a full report of the system. The client should obtain any and all available documentation and warranties regarding prior repairs and services of property components and conditions, and documentation for repairs and services resulting from comments within this report.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire, safety, electrical, HVAC, moisture intrusion / leakage, carbon monoxide, natural and or propane gas, fungal, and structural concerns be comprehensively examined by a licensed or occupationally certified specialist in the respective field. Complete and appropriate repairs should then be made without delay.

Some conditions and components that we are required to note as "in need of repair" may be subjective priorities to you or the seller. It would be prudent to consult specialists hired for related repairs to determine priorities of potentially subjective repairs. We do not determine life expectancy of any component.

Reinspection of repairs and additional visits to the property are not included with the original inspection fee. Reinspection will cost a minimum of \$125 for the first hour, and \$25 at the beginning of any additional hour; unless otherwise agreed upon by the inspector prior to re-inspection.

Select Inspect is committed to providing the best possible services to the client, in an efficient, professional manner, and to report discoveries to the client in an understandable format. Select Inspect inspectors will represent Select Inspect in a professional and courteous manner, and we will be respectful to our clients, to all parties involved, and to the properties at which our business is performed. The client, their personal information, this report, and information about the home are not offered or distributed to other persons or affiliations, unless specifically requested by the client. Please contact us with your comments on our service.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188, 1-800-250-8732 or (512) 459-6544
(<http://www.trec.state.tx.us>). REI 7A-0 -3198

Select Inspect Copyright 2007-2010

This report is exclusive property of the client named on the cover page, and may not be used by others without direct client permission

Table of Contents

Highlighted sections contain one or more conditions noted as in need of repair & or deficient by the standards of TREC, ASHI, and/or in the professional opinion of your Inspector. Refer to the body of the report for important details of discovered components / conditions.

I. STRUCTURAL SYSTEMS	4
A. Foundation	4
B. Grading and Drainage	6
C. Roof Covering	6
D. Roof Structure and Attic	6
E. Walls (Interior and Exterior)	7
F. Ceilings and Floors	8
G. Doors (Interior and Exterior)	8
H. Windows	9
I. Fireplace / Chimney	9
J. Porches, Decks, and Carports (Attached)	9
K. Flatwork (Driveways, Sidewalks)	10
L. Other Comments- (i.e. foliage, retaining walls, other)	10
II. ELECTRICAL SYSTEMS	10
A. Service Entrance and Panels	10
B. Branch Circuits- Connected Devices and Fixtures	10
III. HEATING, VENTILATION, AND AIR-CONDITIONING SYSTEMS	11
A. Heating Equipment	11
B. Cooling Equipment	12
C. Ducts and Vents	12
IV. PLUMBING SYSTEM	13
A. Water Supply System and Fixtures	13
B. Drains, Wastes, Vents	14
C. Water Heating Equipment	14
D. Hydro-Therapy Equipment	15
V. APPLIANCES	15
A. Dishwasher	15
B. Food Waste Disposer	15
C. Range Hood	15
D. Ranges / Ovens / Cooktops	16
E. Microwave Cooking Equipment	16
F. Trash Compactor	16
G. Bathroom Exhaust Fans and/or Heaters (includes utility room fan if present)	16
H. Whole House Vacuum Systems	16
I. Garage Door Operators	16
J. Door Bell and Chimes	17
K. Dryer Vents	17
L. Other Built-in Appliances	17
VI. OPTIONAL SYSTEMS	18
A. Lawn Sprinklers	18
E. Gas Lines	18
H. Security Systems	18
LIMITATIONS AND EXPLANATIONS	19
DIGITAL PHOTOGRAPHS	22

Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. If an item is present in the property, but is not inspected the "NI" column will be checked and an explanation is necessary. Comments may be provided by the inspector whether or not an item is deemed in need of repair. This report may be electronically distributed by SIS and changes, deletions or amendments to the report of any type are strictly prohibited. It is recommended you obtain receipts and warranties for repairs resulting from this inspection.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence or conditions conducive to mold and microbiologicals. If the inspector sees a suspect condition (mold) it may be reported as a supplemental and incomplete comment but it does not mean the inspector saw and reported all mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

IMPORTANT: A contract (Home Inspection Agreement) was provided and signed by you or your representative at the time of inspection. The contract contains important information related to the scope of this inspection, limitations, and other comments. If you have not already, please read the contract in its entirety, and contact us if you have any questions; 214-770-6954. Your business is important to me, and I appreciate your choosing Select Inspect.

I. STRUCTURAL SYSTEMS

Site Conditions & Persons Present During Inspection:

Home was: Occupied Vacant Vacant with Furnishings or stored items

Faces Primarily: North **Temperature:** 90 - 100 Degrees (approximate at beginning of inspection)

Person(s) Present: Client(s) Selling Agent Occupant / Seller Listing Agent Inspector

Visibility: Dry Rain Stormy Ice / Snow Dark- morning / night

Clear Partly to Mostly Cloudy Overcast Moderate Wind High Wind

I NI NP R

A. Foundation

(If all crawl space areas are not inspected, provide an explanation)

Foundation Types at property: Slab on Grade Pier & Beam Screeded Floating

If a crawl space was present, the following conditions were observed: **Slab foundation: N/A**

Access location: Closet / Interior Room Exterior Other

Method of inspection: Crawled: General areas- Most Areas Accessible

Crawled: Limited Areas- Mostly Accessible Most of Crawl space Inaccessible

Leaning into Hatch / Very Limited Entry into Crawl space

Partially Inaccessible due to: Small Access (less than 18" x 24") Obstructions

Electrical Wires on Soil Low Clearance Unsafe Conditions / Animals

Insulation present in crawl space: Full Partially No (common in this area)

Comments (An opinion on performance is mandatory.) The inspector will in most cases only comment on the foundation as "inspected. In the event "excessive" structural movement is suspected, only a licensed structural engineer will have the authority to determine if foundation "repair" is justified. Only an engineer has the education and certification to accurately determine the extent of foundation movement and to prescribe any necessary repairs. The inspector will make note of conditions indicating foundation movement and possible contributing factors. The inspector will form an opinion that based upon his findings, reflects whether or not a likelihood of need for repair will be justified. The inspector will document whether in his opinion, the foundation appears satisfactory, is questionable, or likely needs repair. If the inspector documents any opinion other than satisfactory, it would be prudent to consult an engineer or other foundation specialist of your choosing to evaluate site and structure. If you have any concerns, or you are unwilling to accept risk of maintaining the site and structure, you should hire an engineer to fully evaluate the site and structure for conditions needing improvement and or repair. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Foundation / Structural Opinion:

Foundation appears to be performing as intended without signs of excessive movement or failure; although movement and or settlement of the foundation and structure were noted. Significant issues of concern regarding foundation and structural movement were not discovered at the time of inspection. The foundation should be monitored for future movement; if excessive, unusual, or undesirable movement occurs, consultation should be arranged with a structural engineer.

One or more of the following conditions were noted at the time of inspection:

- Interior cracks were noted at areas including the following locations:
 - Kitchen north; dining room south; breakfast nook south; garage north, south, and ceiling; laundry room; bedrooms; hall
 - interior corner joints & tape joints; vaulted ceilings & or tall walls
 - molding / trim joints at the master bedroom
- Interior crack repair evidence was noted or suspected at various locations. Refer to the seller or occupant for possible related information. This is generally indicated by variance in wall/ceiling texture and or tone.
- Mortar / brick crack repair evidence was suspected at the west garage. Painting / remodeling efforts may conceal evidence of prior movements.
- Existing exterior mortar and or brick cracks were noted at the south, east, west. Monitor this item periodically and if further movement is detected, consult a specialist for evaluation.
- Garage concrete is cracked. Thin cracking is common, though larger cracks can indicate excessive or uncommon movement. If garage cracks extend through the beam, they should be closely monitored or you should have a specialist examine the condition.
- Foundation beam wall cracks were noted/suspected at *
- Foundation beam corner cracks were discovered at * If the crack(s) extend through the beam, structural integrity of the affected location may be compromised. Corner cracks are obstructed and are conducive to hidden subterranean termite entry.
- Common movement of foundations is possible. Sub flooring may be deflected in one or more locations; such will only be noted if an area is visibly deflected. Leveling measurements are not taken.

If you notice expanding cracks or diagonal cracks (inside and out), or cracks that run across the body of drywall at ceilings or walls; if you notice large interior or exterior cracks, or separation of window / door frames, you should consult an engineer or foundation specialist to examine the structure and render a repair or monitoring opinion.

A floating slab exists at the garage; Floating slab description: A floating slab is a reinforced slab placed between walls or footing; typically found in garages of pier and beam homes. The footing poured for a floating slab is allowed to set and the forms are removed. The slab floor is poured inside the footing and is separated from it by an expansion joint. This process of pouring the slab separately allows the slab to rise or fall without causing excessive cracks at the footing edges. The joint between the slab and the perimeter is often conducive to wood destroying insects and should be monitored periodically for wood destroying insects, stress, or other concerns.

Some crawl space areas contained HVAC ducting obstructing access. The area below the breakfast nook, laundry room, and ½ bathroom were only partially viewed from a distance, looking over/under air ducts. Some conditions in this region remain undetermined

Additional Information:

This report, including the foundation opinion, represents one inspector's opinion of visible evidence present and accessible on the day of the inspection. Future performance of the foundation and structure is not warranted. Regular maintenance is needed to keep the foundation from unusual movement or failure. Information concerning moisture maintenance and foundation control measures is at the end of this report.

The inspector's opinion, based on observations of physical evidence, does not represent fact; factual information regarding the foundation and structure can be obtained through consultations with a professional engineer of your choosing. In the limited time the inspector is at the home, it is difficult to determine whether observed conditions are ongoing, have recently occurred, or at what time in the past they were active. We recommend you monitor the structure periodically in all cases. If issues are discovered, you should contact a specialist to examine the situation, so they may prescribe options for permanent repair. Opinions of performance and methods of maintenance, repair, or monitoring vary person to person.

I NI NP R

B. Grading and Drainage

<u>Soil conditions at the time of inspection:</u>	Damp / Moist Dry crawl space
<u>Some areas (if different) were noted as:</u>	wet

Comments: Underground components are not inspected; sub-grade conditions remain undetermined. Drainage conditions are subject to change, considering amount and frequency of rains, seasonal changes, irrigation system settings, erosion. This inspection does not investigate or identify sub-grade water tables, springs, or elasticity qualities of soils. Grade conditions should be monitored through the life of the home. Prior drainage issues at the property cannot usually be identified by this inspection. Refer to the seller's disclosure for possible information regarding past drainage problems and or correction. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Drainage: Repair

- Planter / garden areas at the southeast and northeast exhibit poor drainage ability.
- Negative slope (toward the home) drainage conditions exist or are suspected at the south-southwest and west-northwest. Poor drainage is conducive to foundation issues, rot, moisture intrusion, and insect activity. Closely monitor and plan for repair or consult a drainage specialist for options.
- The crawl space was moist near the crawl space access and below the hall bathroom (drain leak); otherwise the crawl space was acceptably dry in most accessible locations.

I NI NP R

C. Roof Covering

(If the roof is inaccessible, report the method used to inspect.)

Layers of Roofing Seen: One Two Three or more (May be unacceptable for insurance)

Roof Material: Composition Wood Shingle / Shake Tile Roll-Out Slate

Artificial slate Built-Up / Asphalt / Bitumen Spanish Tile Metal / Copper Other

Roof Inspected from: Walking Roof Surfaces Ground with Binoculars Ladder at Eaves

Most accessible Some areas Inaccessible Most Roof areas Inaccessible

Too Steep / High Wet / Rain / Slippery Deemed unsafe to walk - injury/damage risk

Comments: This inspection does not determine past hail damage, remaining life expectancy, or insurability of the roof systems. All areas in North Texas are subject to hail storms, and you should verify acceptability of any questionable conditions by your insurance / home warranty provider prior to closing. If it is not raining at the time of inspection, it is unlikely that the inspector can positively identify ongoing leakage issues. All roof systems should be monitored during / after rainy weather and or hail. Condition of underground or otherwise inaccessible guttering components remains undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Roof Coverings: Repair

- Leakage condition exists at the furnace flue.
- Open-faced (uncaulked) fasteners were seen at roof vents. Though technically incorrect this is commonly found, even on new homes. This is a relatively inexpensive item to correct, and the need for immediate corrective action is subjective and a matter of personal preference.
- Furnace flue cap was rusted and had some small corrosion holes.
- NOTE: repair evidence was implied by tar-like sealant at chimney flashing, plumbing vents, flues, and turbines. The Texas Real Estate Commission requires notation of repair evidence found regarding roof components. This is not necessarily a repair statement. Refer to the seller's disclosure for possible information regarding this item.

Roof Drainage / Guttering: Repair

- Gutters are in disrepair. Removal, overhauling, or replacement is recommended.
- Various splash blocks were noted as being reversed. Technically, the "closed end" of the block should be furthest from the home (to splash and disperse water), and the open end should be directly below the gutter-downspout termination. This is a common error.

I NI NP R

D. Roof Structure and Attic

(If the attic is inaccessible, report the method used to inspect.)

<u>Framing style:</u>	Old-style Conventional; _____
<u>Type of Underlayment observed:</u>	Plywood or OSB ; _____
<u>Method of Inspection:</u>	Walking decked areas and joists/trusses

	Some areas not safe for direct access
Insulation Type:	Batt (roll-out) and Blown ; Multiple Materials
Insulation average depth in accessible areas:	12 inches or more

Ventilation: Roof / Box Turbine Eave /Soffit Gable Electric Ridge

Obstruction of access / vision Stored items Low clearance HVAC items Other

Comments: Attic components are observed in a cursory fashion. This includes only those areas and components that are safely accessible and visible at the time of inspection. Obstructions within the attic may include, but are not limited to: stored items; HVAC, plumbing, and electrical components; low clearances; lack of attic flooring; small, obstructed, or inaccessible attic hatches. When possible, the inspector will identify known obstructions, and make every effort to access areas when conditions to do so safely are available. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Attic Structure: Repair

- Failed rafter exists at the northeast; Correction / improvement would be prudent.
- Cracked rafter exists at the northeast; cracked strut exists at the central southeast; cracked collar exists at the southwest (south of the attic access). Additional bracing should be considered to prevent future issues.
- "T-bracing" was amiss / deficient at vertical framing. Deflected struts were noted in related area(s). Recommend considering correction/improvement of the conditions. Technically, 6 foot or longer struts that are 45 degrees or more should be "T" braced for added strength.
- Some rafters are offset at the ridge. This is not as stable as rafters set directly adjacent each other.
- Ridge rafters are smaller than the cut end of diagonal rafters. This is sometimes referred to as "undersized ridge" The condition is common on older homes and the concern is that this method is not as strong as a deeper ridge that can support the entire depth of the rafter(s). Immediate repair needs were not discovered at the time of inspection; Monitor this item periodically and maintain as needed.
- Moisture staining/evidence was discovered at the furnace flue and chimney.

Attic Ventilation: Inspected

- Eave vents are present at the exterior vinyl material. It is undetermined whether these vents correspond to the vent locations of the original eave materials. If the vents do not correspond, ventilation efficiency may be compromised. Baffles were not present in the attic eaves, and it appeared that insulation is covering any soffit vents that may be present.

Attic Insulation: Repair

- Insulation was missing at various furdow perimeters. This can cause some degree of energy loss.

Attic Access / Stair: Repair

- The frame header was cracked, failed, and poorly secured to related joists. The footer end had a large gap that was not appropriately shimmed. The stair should be considered unsafe until appropriate, professional repair is made.
- The attic ladder(s) does not extend properly and is unsteady / potentially unsafe. Correction / improvement would be prudent.
- Advisory Use caution when entering/exiting or moving about in attic areas.

I NI NP R

E. Walls (Interior and Exterior)

Interior Wall Structure: Wood framing Metal Framing Brick / Masonry

Interior Obstructions: Storage Furnishings Décor Other

Exterior Obstructions: Foliage Storage Deck Building Other

Exterior Wall & Trim: Brick Stone Masonry Stucco Artificial Stucco

Wood / Pressed Wood Wood-Fiber / Hardboard Cementitious Fiberboard

Vinyl and or Aluminum Siding (Conditions of hidden substrate remain undetermined)

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Interior Walls: Inspected

Cabinetry: Inspected

- Cabinets and components therein were obstructed by stored items. The inspector does not remove personal belongings or stored items. Conditions behind/below personal items remain undetermined.

Exterior Walls: Repair

- The header at the garage is sagging. It is recommended to closely monitor this or if you are concerned, have a specialist or tradesman evaluate the issue(s) and recommend appropriate permanent repair / improvement options. In the limited time the inspector is at the home, it is difficult to determine whether the conditions are ongoing, have recently occurred, or at what time in the past they were active.
- ADVISORY: Vinyl and or metal siding is present at exterior locations; the condition or presence of substrate remains undetermined. Method / appropriateness of installation and quality of product brand is undetermined. Materials are inspected for obvious visible deficiencies and damage only. Components appeared in good serviceable condition.

Stairs: Inspected

- You may want to consider adding sturdy handrails at the garage, front porch, and rear patio as an added safety feature for your father.

I NI NP R

F. Ceilings and Floors

Ceiling Structure: Wood or engineered wood framing Metal Framing

Floor Structure: Concrete Slab Wood Framing and Subfloor over crawl space

Built-up Wood over Concrete (Screeded) Metal Framing over crawl space

Obstructions: Floor coverings Furnishings Storage / Personal Items Sub floors

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

I NI NP R

G. Doors (Interior and Exterior)

Obstructions: Storage Furnishings Vehicle(s) Locked Other

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Interior Doors: Repair

- The right closet door of the front bedroom was not functioning as intended.
- Advisory: Some doors are unsquare, but remain generally operable.
- NOT INSPECTED; closet in the office was locked. Conditions related to the door and all framing, flooring, electrical, veneer, or other components/devices in this closet remain undetermined

Exterior Doors: Inspected

- Current standards require the door(s) from the home to an attached garage be at least 1 3/8 solid or 20 minute fire-rated. Some municipalities also recommend (require on new homes) self-closing features. The door(s) at this home did not meet one or more of these recommendations, though it may not have been required when the home was built. This would be a safety upgrade in the future, or sooner if you are concerned. Immediate repair needs are subjective.

Garage Door(s)

Garage Door Type: Metal Wood Fiberglass / Plastic / Composite Insulated

Garage Door / Frame: Overhead Modern Hinged Antiquated

Garage Door: Repair

- The garage door(s) falls closed when the garage door(s) was released from the garage door operator. The springs may need adjustment/replacement.
- It is recommended to read and follow all manufacturer's labels, warnings, and maintenance information. Following these guidelines will provide for safer conditions, and can extend the life of the unit(s) and components. This refers to garage doors and garage door operators.

I NI NP R

H. Windows

Window Type:	Single Pane Multi-pane, Insulated
Window Framing:	Vinyl or Metal

Obstructions: Storage Furnishings Window Treatments / Shutters
 Foliage Poor lighting conditions Other

Comments: Though some comments may be made regarding safety glass, you should understand that these comments are limited. This inspection departs from conditions and current standards regarding safety glass, and are not respective of all possible conditions. Regulations vary city to city, and frequently change. If you are concerned, please consult a glass specialist, familiar with requirements in your area. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Windows: Repair

- Failed thermal seal was discovered at the sliding patio door.
- Windows would not remain up / open and fall closed. This condition was noted at the dining room and northeast bedroom.
- Moisture evidence was indicated by staining, swelling, and or moisture damage at interior window drywall and or sills-living room lower left. This appears to be from condensation, rather than leakage. The Texas Real Estate Commission considers all moisture penetration evidence at the home interior as a condition in need of repair. Immediate repair needs are subjective. Monitor this item periodically and repair if / when needed.
- Multiple windows need caulk touch-up/repair. This is a routine maintenance item.
- Some bedroom windows are higher than recommended by current standards. It is now desirable to have the lower edge of the window \leq 44" for ease of entry by firemen, during cases of emergency. Repair options are limited.

I NI NP R

I. Fireplace / Chimney

Fireplace: Masonry: Prefabricated. Modern Old / antiquated style

Chase: Masonry Frame & Veneer Frame & Brick/Stone Not present

Flue: Masonry Metal Direct Vent Undetermined

Cap / Crown: Mortar Metal Inaccessible / undetermined

Inspected at: Ground / in home Roof (limited) Attic (limited)

Comments: Inaccessible components are not inspected, and conditions remain undetermined. Inspection of inaccessible areas of flue / chimney interiors, fire screens / doors, mantels and surrounds is beyond the scope of this inspection. Code compliance and drafting characteristics are not determined by this inspection. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Fireplace & Hearth: Repair

- The smoke shelf is not sealed appropriately at the front of the fireplace and may present a fire hazard. Mortar touch-up is recommended.

Damper: Inspected

- operable

Fireplace Flue / Liner: Not Inspected

- The interior portions of the flue were inaccessible; conditions within remain undetermined.

Chimney / Chase: Inspected**Mortar Cap / Crown: Repair**

- The screen at the cap is inappropriate. Replace with appropriate material.
- Mortar at the chimney crown needs minor touch-up repair.

Gas Components: Not Inspected

- Gas stub was capped and unavailable for testing.

I NI NP R

J. Porches, Decks, and Carports (Attached)

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

I NI NP R

K. Flatwork (Driveways, Sidewalks)

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

I NI NP R

L. Other Comments- (i.e. foliage, retaining walls, other)

Comments:

Other: Inspected

- ADVISORY: Trees or other foliage were close to or slightly touching the building at the time of inspection. This may eventually cause damage to the structure, and is conducive to intrusion of carpenter ants and other pests. It is recommended to keep all foliage trimmed so that it does not touch the home. Conditions were not excessive at the time of inspection. Immediate repair needs were not discovered; monitor this item periodically and repair if / when needed.
- Suspected Red-tip-photenias were noted at the west-northwest. These large growing shrubs are not recommended within 30 feet of the home as they are often found decayed from the inside out; and often found infested with termites. These plants absorb large amounts of moisture from the soils, and are also known to frequently contribute to foundation issues; close monitoring or consideration of removal is recommended.

II. ELECTRICAL SYSTEMS

I NI NP R

A. Service Entrance and Panels

Service Type: & Meter Location:	Overhead Side
Branch Wire Seen at Panel(s):	Copper
Wire / Conductor Type:	Romex like (non-metallic sheathed cable)
Maximum Amperage as indicated by the main breaker or panel labeling:	200 amps
Approximate Voltage at Service Panel, as indicated by wiring method:	120 / 240 Voltage is not measured
Breaker or fuse Panel Location(s):	Main- Garage Sub- Not Found or Not Present

Comments: Measuring amperage, voltage, or impedance is beyond the scope of this inspection. Alarm systems, low voltage systems, and remote controls are beyond the scope of this inspection and are not inspected, unless otherwise specifically noted in this section. Outlets, fixtures, switches, and smoke detection devices, if tested, are randomly inspected in a representative manner. Obstructions are not unplugged or moved to access obstructed components. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Service Entry: Inspected**Service Panels: Inspected**

- Technically all openings where wires penetrate the box should be clamped or sealed. An opening exists at the upper left that is a candidate for improvement. Significant issues were not found or observed concerning this item at the time of inspection.

I NI NP R

B. Branch Circuits- Connected Devices and Fixtures

(Report as in need of repair the lack of ground fault circuit protection where required.):

Comments: Inspection of electrical outlets, switches, and fixtures is performed by testing a representative number of these components in accessible locations. In occupied homes, some electrical components are not accessible and not inspected due to personal items, furnishings, childproof covers, and other obstructions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

GFCI (ground fault circuit interrupt) Devices

The Texas Real Estate Commission requires comparison of all homes to current standards regarding GFCI location and operation. This means Texas inspectors must call out all locations that do not meet current standards as "in need of repair", without enabling a grandfathering clause. Codes and standards change often, and it is common that most homes will not meet current criteria.

GFCI resets noted at: Kitchen Garage Bath(s) Exterior Elec.Panel NA/not found

GFCI: Repair

- GFCI at the ½ bathroom was ungrounded and did not reset after tripping.
- GFCI receptacle(s) at the exterior southeast was tripped upon arrival and would not reset.

- GFCI outlets were not present or operable at one or more currently recommended locations. Current standards recommend GFCI protection at all kitchen (except refrigerator), all bathroom, bar sinks, crawl space, outdoor locations, and at least one in the garage (non protected 110 volt outlets in the garage should be labeled appliance only). The Texas Real Estate Commission considers this condition in need of repair. By definition of repair, this could be argued as an improvement regarding operable outlets.

Outlets: Repair

- Loosely secured receptacle(s) exist at the kitchen. Some were obstructed by furnishings and not inspected.
- Family room south receptacle(s) was ungrounded.
- Exterior east-southeast receptacle(s) had an amiss cover.
- Some older 2-prong outlets in this home have been updated with 3-prong outlets. It is possible that one or more of the 3-prong outlets has a "fake" ground. This occurs when a ground wire is legged to the neutral (grounding through the neutral). This gives the false reading of a ground with many testing devices, and can be unsafe and a false sense of security. The inspector does not generally remove outlet covers, and this condition may exist. It would be prudent to have your electrician examine this potential condition, when other electrical items are serviced.

Lighting Fixtures: Repair

- One bulb at the range vent was inoperable

Switches: Inspected

Smoke Detection Devices: Inspected

- It is recommended to test batteries monthly, change batteries annually, and to change the detector itself at least once every ten years.

Other Accessible Electrical: Repair

- Junction boxes were missing appropriate covers at three discovered attic locations. This is considered unsafe. Recommend installing covers where needed.
- Ground wire(s) were not appropriately connected at junction boxes near the attic access.

III. HEATING, VENTILATION, AND AIR-CONDITIONING SYSTEMS

This inspection is visual and only consists of readily accessible components and conditions at the time of inspection. Components and compartments are not disassembled; this is best done by an HVAC specialist. If you desire to have the HVAC system included in a Home Warranty, you should have a representative of that company examine components that may be covered, to determine compliance.

I NI NP R

A. Heating Equipment

Type: Forced Air Gravity Heat Pump Units: 1 2 3 4+

Energy Source: Natural Gas Electricity Propane Other

Power / Fuel Shut-Off: Beside unit Manifold Switch / breaker Undetermined

Comments: Stand alone-unvented gas units, and in wall gas units in bathrooms, bedrooms, or living areas are considered unsafe. Upgrading to safer modern heating equipment is recommended. If present, this type of heater is beyond the scope of this inspection and was not inspected. Heat exchangers and heating elements are typically inaccessible and are not inspected, unless otherwise noted. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Heating: Repair

- The flexible gas line is routed through the wall of the furnace cabinet(s). This is common, though ideally, the hard metal gas pipe should go through the wall then connect to the flexible line outside of the unit. This is to prevent potential damage and gas leakage at the flex line if the unit were to vibrate causing the flexible line to rub against the sharp edge of the cabinet.
- The flue does not meet listed clearance ratings from combustible materials. The flue is closer than recommended to wood/sheathing in the attic. It is recommended that flues be installed to manufacturer guidelines
- Combustion air provisions were inadequate in the mechanical closet.

I NI NP R

B. Cooling Equipment

Type: Forced Air Evaporative Window Units (Not Inspected)

Fuel: Electricity Gas (uncommon in this area; beyond the scope of inspection)

Comments: System capacity, refrigerant type, and remaining life are undetermined. Unless otherwise noted, evaporators, blowers, and condensing units are not disassembled. The HVAC system has many inaccessible components. Full evaluation of refrigerant levels and leakage potentials, evaporators, compressors, blowers, and other inaccessible components requires an HVAC specialist. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Cooling: Repair

- The HVAC system is set upon a piece of plywood; visible deflection was noted at the plywood. The plenum below had settled to the soil, and plenum joints above pulled from their intended position. Recommend a more stable/substantial base for the HVAC unit
- Refrigerant insulation at the crawl space was amiss / deficient. Such may allow release of additional moisture (condensation) into the crawl space.
- Primary condensate line is crimped in the crawl space below the mechanical closet. The condition is prone to congestion and deficient drainage of the evaporator system.
- Primary condensate line terminates through a garden hose on the driveway. Condition is unconventional.
- NOT INSPECTED: The air-conditioner systems were not operated, as the outdoor temperature was below 60 degrees within the past 24 hours, and or at the time of inspection. Operation of air-conditioner units in that state/time period can damage components due to refrigerant not readily changing from liquid to gaseous state, because of low temperature. Returning to the property for inspection during warmer weather is not included in the price of the inspection. Operation and related conditions remain undetermined.
- Corrosion exists at the evaporator cabinet and or interior. The condition was minor at the time of inspection, and should be monitored and serviced when needed, or when other HVAC components are repaired, which ever comes first.
- The air filter(s) was amiss / deficient and I suspect the inaccessible evaporator may be dirty/congested. The evaporator interior(s) was inaccessible; this is common as most do not have readily accessible panels. If documentation does not exist relating to cleaning / servicing of the evaporator(s) in the past 3-4 years, it is recommended that you hire an HVAC technician to service the evaporator(s) and related HVAC components.

I NI NP R

C. Ducts and Vents

Filter Type: Disposable Washable Electronic Other / Undetermined

Duct Type: Flexible Metal - Insulated Concealed / Undetermined

Return Duct Location: Attic Between Levels or In-wall Crawl space

Supply Duct Location: Attic Between Levels or In-wall Crawl space

Filter Location(s): At Unit(s) Wall Ceiling Floor Not Discovered

Comments: Humidifiers, if present, are beyond the scope of this inspection and are not inspected. Humidifiers are considered conducive to mold growth. We recommend humidifiers not be used. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Duct-Vent: Repair

- Tape joints are amiss at the upper plenum(s) and the filter did not have an actual "door/panel", but instead some failing tape and marginal fitting foam panel; Air leakage was noted.
- Ducting touches the soil under the home. Corrosion, fungus, and or other deficiencies exist. Minimum recommended clearance is 4 inches. Correction / improvement would be prudent.
- One or more air registers were somewhat dirty. If concerned, you should contact a duct cleaning company for options. Otherwise monitor this item over time and repair as needed.

Air Filter: Inspected**Thermostat: Inspected**

- Thermostats were reset to as found positions by the inspector prior to departure.

IV. PLUMBING SYSTEM

I NI NP R

A. Water Supply System and Fixtures

Supply Pipe (visible): Copper Plastic Polybutylene Other / undetermined

Waste Pipe (visible): Plastic Metal Drain pipe: Undetermined on slab homes

Vent Pipe (visible): Plastic Metal

Water Meter Location: Front Side Rear Alley Undetermined

Water Shut-Off: Exterior Garage Interior room / closet Undetermined

Comments: Fixtures are not filled to capacity. Inaccessible components below grade, below, or behind cabinets and walls, and behind or below bathtubs, showers, or sinks are not inspected; conditions and type of material remain undetermined. Personal items are not moved or removed from sink, bathtub, shower, or toilet areas, and these items may obstruct access and visibility. We cannot guarantee that all potential or inaccessible leakage conditions will be discovered. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Plumbing Supply: Repair

- Shut-off valves were not present / not readily accessible below the ½ bathroom and hall bathroom sinks.
- NOTE: The secondary water shut off valve was not found. The shut off valve may be underneath landscaping materials near the front of the home. Conditions remain undetermined. Locating the shut off is recommended. The water shut-off valve is likely a metal rod sticking up from the soil near the house. These rods are usually corroded, brittle, and may likely break if used.
- ADVISORY: Some fixtures may not be labeled "hot & cold". Texas Real Estate Commission requires finding "in need of repair" any water controls at sinks, bathtubs, showers, bidets and similar fixtures that are not permanently marked as "hot" and "cold". Markings are intended to reduce risk of scalding. Select Inspect departs from this provision of the Texas Real Estate Commission standards. As long as hot is on the left and cold is on the right, from the user's perspective, repair needs are very subjective and not urgent in the opinion of the inspector. Concerns were not discovered at the time of inspection, though if you sell the home in the future, another inspector may be required to note this "in need of repair".

Sinks: Inspected

Toilets / Bidets: Repair

- ½ bathroom and master bathroom toilet(s) was loosely/marginally secured at the floor. Correction / improvement would be prudent.
- Leakage under the hall bathroom toilet(s) was seen in the crawl space. Significant decay was not found, though the leakage condition should be corrected by a plumber.
- Toilet at ½ bathroom and hall bathroom runs long / continuously; Adjustment is needed.

Bathtubs: Inspected

Showers: Repair

- Tile was noted as cracked at the lower perimeter of the master shower. Immediate repair needs may be subjective, though there is a chance of moisture intrusion behind the tile to the substrate. Condition of inaccessible/hidden areas is undetermined. Obvious leakage was not discovered in the crawl space.

Exterior Faucets: Repair(Attached Only; unless otherwise noted)

- Exterior faucet(s) at the front had a slow drip / leak. Excessive moisture adjacent the home is conducive to wood destroying insects, other insects, decay, and foundation issues.
- One or more exterior faucets did not appear to be anti-siphon type. This is common on older homes, and is required on new homes. The Texas Real Estate Commission considers this condition in need of repair. Immediate repair needs are subjective.

Utility Connections: Not Inspected

- It is beyond the scope of this inspection to operate laundry plumbing connections and laundry appliances. These fixtures are visually inspected only when accessible. Some conditions remain undetermined. If present, laundry equipment is not moved or inspected.

I NI NP R

B. Drains, Wastes, Vents

Comments: Underground and inaccessible components are not inspected; conditions remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Drains: Repair

- Ongoing leakage was noted at the hall bathroom toilet drain. Correction is recommended.

Drains: Not Inspected

- If the home is vacant for more than a few weeks or more before you move in, it is possible that drain lines may dry out. This can cause loose sludge accumulation and congestion down the lines shortly after the home is re-occupied, when water fixtures are put back in use. If this occurs, (generally within the first month or so) cleaning of the lines by a plumber will be necessary. The immediacy of calling a plumber is a subjective decision. OPTIONS: 1) If you are concerned or want to alleviate risk of this possibility, then having the drains serviced prior to move in would be prudent. 2) You can monitor the drains, and contact a plumber if / when congestion is discovered. 3) If there are other plumbing conditions noted in this report that you plan to have improved / repaired, then it may be cost effective to have this possible condition evaluated further at that time.
- NOTE: Sub grade, in-wall, and some attic / crawl space plumbing components were not accessible; conditions remain undetermined.
- The potential for sub grade plumbing leaks and failure increase as a home ages. If you are concerned or notice problems, consult a specialist to examine the condition of buried pipes.

I NI NP R

C. Water Heating Equipment

(Report as in need of repair those conditions specifically listed as recognized hazards by TREC rules.)

Energy Source: Gas Electric LP Solar (beyond scope of inspection)

Number of units: 1 2 3 or more *Temperature-pressure-relief valve:* Operated Y N

Power / Fuel Shut-Off: Beside unit Switch or breaker Inaccessible./ undetermined

Comments: The inspection does not determine remaining life expectancy, condition of interior or inaccessible components. The inspection cannot determine if bacteria or corrosion exists at the interior or in inaccessible areas. Average life of a water heater is around 8-12 years; some last longer, some fail sooner. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Water Heater: Repair

- A pan was not present below the unit(s). This is a current requirement for devices located in a place where leakage could cause moisture damage to the interior of the structure. Monitor this and correct when future water heater / plumbing repairs are made, or consult a plumber for options of installing a pan prior to closing if you are concerned.
- The temperature-pressure-relief was not tested. The water heater(s) is over three years old- per manufacturer label. It is recommended to have the temperature-pressure-relief tested annually, and have the temperature-pressure-relief removed and visually inspected every three years or sooner. Most manufacturers also recommend draining / flushing the water heater at least once annually. The unit was producing hot water and appeared generally operable at the time of inspection, though it does not appear to have a documented service history. Recommend having the unit(s) examined and serviced by a plumber, or at the very least, you should realize that it does not likely meet manufacturer's guidelines for routine maintenance. Average life of a water heater is 10-12 years; Serial plate codes on the water heater imply the unit(s) holds 40 gallons, built in 1985 .
- Appropriate combustion air provisions were not present at the water heater closet. Gas units should have upper and lower "make-up" air provisions. Upper vent was obstructed by a taped vent cover, which incidently was covered by insulation in the attic.
- The temperature-pressure-relief valve terminates in the crawl space; this is not correct. Repair is recommended. The termination should be 6-24 inches above the exterior ground, pointing downward.
- Noise from the interior of the water heater may indicate amiss anode tube(s) or sediment buildup in the machine. The condition should be examined by a plumber; replacement of individual parts or the unit may be required.

- Check with your insurance/home warranty company to assure these items will not be excluded, due to pre-existing conditions.
- Advisory It is recommended to read and follow all manufacturer's labels, warnings, and maintenance information. Following these guidelines will provide for safer conditions, and can extend the life of the unit and its components.

I NI NP R

D. Hydro-Therapy Equipment

Comments: This section pertains to individual systems, not part of a swimming pool. Some areas and components are inaccessible by design and location. Conditions of inaccessible components remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

V. APPLIANCES

Built-In Appliances, if present and inspected, are inspected in normal modes only. Built-In Appliances and related components are examined for noticeable deficiencies of operation, visible damage, and obvious installation issues. Built-In Appliances and related components are not dismantled or moved, unless otherwise noted specifically in this report. Appliances that are not built-in are not inspected. Consult your "Guide to Your Home Inspection" and the limitations section at the end of this document for more important information

I NI NP R

A. Dishwasher

Comments: Dishwashers are not inspected for compliance with current local code regarding anti-siphon protection. Most manufacturers route the drain in an anti-siphon manner at the side of the dishwasher; this condition cannot often be determined when the unit is installed. Sink-top anti-siphon devices and other dishwasher drain connections are prone to leakage, congestion, and wear; these should be monitored periodically for leaks and damaged components. Conditions of inaccessible components and lifespan remain undetermined.

Dishwasher: Inspected

- An anti-siphon loop was not seen at the visible section of the dishwasher drain line. Many manufacturers loop the drain line along the side of the dishwasher cabinet. This is to prevent sink water from entering the dishwasher and is recommended. You would likely have to pull the unit out to determine if the line is looped to the side of the appliance. Repair needs are subjective.
- The system appeared otherwise serviceable at the time of inspection
- Advisory: When the home is / has been vacant for more than a few weeks, please remember to run some hot water through kitchen / bathroom faucets prior to operating the dishwasher when you first move in. This may seem strange, but there is a chance of hydrogen building up in a water heater that has been heating, but not in regular use; this can sometimes cause an explosion when the dishwasher is operated before other water fixtures. In some cases, it is possible for hydrogen to enter and subsequently ignite in the dishwasher when the timer control engages. Running hot water for 4-8 minutes simultaneously at fixtures (when you first move in) should release any potential hydrogen accumulation in the system. Related article can be found at: <http://www.cdc.gov/elcosh/docs/d0400/d000435/d000435.html>.

I NI NP R

B. Food Waste Disposer

Comments:

Disposal: Repair

- The clamp to secure the electrical wires where they enter the disposal unit was amiss / deficient. This is inexpensive and easy to do. Repair is recommended.
- Splash guard is damaged / worn. Replacement is recommended and generally inexpensive. This is intended to keep debris from spraying into the sink, or onto persons using the device.

I NI NP R

C. Range Hood

Vent Type: Recirculating Exterior Down-draft N/A - Not Present Undetermined

Comments:

Range Hood: Repair

- Vent tube was not well sealed at the roof penetration/cap. This is a potential fire hazard. Recommend appropriate sealant with approved tape and or mastic.

I NI NP R

D. Ranges / Ovens / Cooktops

Comments: Ranges, stoves, ovens etc are not moved or dismantled in any way unless otherwise specifically noted in this report. Presence of and condition of inaccessible components remain undetermined. Obstruction limitations often include method of installation, stored items, walls, and other components. Condition and type of gas or electrical supply components including gas lines and valves, electrical wires, connections, junction boxes, and conduit are mostly inaccessible; and only readily accessible components if seen will be inspected. Gas valves if present and discovered are not operated unless otherwise specifically noted in this report. Some conditions will be undiscovered and unreported.

Range: Inspected

RANGE-Energy Source: Natural Gas Electric LP (propane)

Gas, shut-off valve: Below / behind unit In cabinet Unknown / inaccessible.

- System(s) serviceable / operable with normal controls at the time of inspection

Oven: Repair

OVEN- Energy Source: Natural Gas Electric LP (propane)

Gas, shut-off valve: Below / behind unit In cabinet Unknown / inaccessible.

- The oven has a copper gas branch line. This material is no longer acceptable by modern standards. The gas line should be replaced with currently approved materials.

I NI NP R

E. Microwave Cooking Equipment

Comments: Pertains to built-in equipment only. Radiation testing is beyond the scope of this inspection.

I NI NP R

F. Trash Compactor

Comments: Trash compactors have a high repair frequency, and should be kept cleaned and well maintained. It is recommended that you not crush glass or other fragile material in a compactor.

I NI NP R

G. Bathroom Exhaust Fans and/or Heaters (includes utility room fan if present)

Comments: Many attic and in-wall components are inaccessible. Condition of ducting (if present) in non-readily accessible areas and location / appropriateness of vent termination is not determined or guaranteed.

Exhaust Fan / Heater: Repair

- The bathroom /laundry fans appear to vent to the attic. Current standards require venting of bathroom and utility room exhaust to the exterior. IRC M1506. Texas Real Estate Commission considers this in need of repair even on older homes.
- There is one or more electric bathroom heaters operated with toggle switches. We recommend you consider replacing the switches with timers. This reduces the risk of fire when/if someone leaves the heater(s) on.

I NI NP R

H. Whole House Vacuum Systems

Comments: If present, vacuum systems are randomly tested at ports found in the home. The canister and other components are not disassembled. Condition of interior and inaccessible components remains undetermined. Accessories (hoses, nozzles, etc.) are not inspected and are not tested.

I NI NP R

I. Garage Door Operators

Comments:

Garage Door Operator: Repair

- Auto-reverse sensors are higher than recommended. The sensors at the side of the overhead doorway should technically be 4-6 inches from the ground for child safety reasons. Repair immediacy needs may be subjective. The Texas Real Estate Commission considers this condition in need of repair.

I	NI	NP	R
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

J. Door Bell and Chimes

Comments:

I	NI	NP	R
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

K. Dryer Vents

Comments: This inspection is limited to accessible and visible sections and components only. This inspection does not determine length, code compliance, or presence of obstructions or damage to inaccessible components.

Vent Routing: Wall Attic / Roof Crawl space Obstructed Undetermined

Dryer Vent: Not Inspected

- The vent is routed partially in inaccessible areas. The interior condition of the vent is undetermined, and should be checked for cleaning needs before new appliances are connected.

I	NI	NP	R
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

L. Other Built-in Appliances

Comments: Refrigerators, wine chillers, and ice-makers are not inspected, unless specifically requested by the client at or before the time of inspection, or if otherwise noted in this section.



VI. OPTIONAL SYSTEMS

Optional Systems include Sprinkler systems, Pools / Spas / Hot-tubs, Outbuildings, Outdoor Grills, Gas Lines, Septic systems, Water Wells, Security systems, Fire Control systems. Unless otherwise noted specifically in this report, these and any other systems and components are Not Inspected.

I NI NP R

A. Lawn Sprinklers

Zones Wired: 4 Controls: Electronic Programmable Manual

Anti-Siphon: Near Curb Near home Front Side Rear Undetermined

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Irrigation: Repair

- Heads improperly spray the home at various perimeter locations. This can be conducive to decay and or mortar erosion. Improperly adjusted sprinkler heads can contribute to foundation movement and conducive conditions. Adjusting the spray pattern, radius, and or direction is recommended.
- A leak exists at the drip irrigation connection to the riser right of the front entry.
- Anti-siphon device was not found. This may be under landscaping material or grass, and is usually near the water meter. Locating the device is recommended for future reference.

I NI NP R

E. Gas Lines

Gas Meter location: Front Side Rear Garage Undetermined N/A

Gas Shut-Off: Meter Attic Garage Service Riser Unknown N/A

Comments: Underground and inaccessible components are not inspected; conditions remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Accessible Gas Lines / Components: Repair

- Brass flexible gas branch tubing at the oven may be under a CPSC recall. Modern flexible gas lines are inexpensive; replacement to modern material is recommended.
- INSPECTED: Movement at the gas meter was not evident when tested. Leakage between the meter and interior pilots / valves was not found. This portion of the system appears satisfactory. Monitor this item periodically and repair if / when needed.

Underground and Inaccessible Gas Lines / Components: Not Inspected

- Conditions of inaccessible gas components including but not limited to: buried, in-wall, behind or beneath appliances or components, attic and crawl space locations, or enclosed within any component or appliance are not inspected and remain undetermined. If you have concern or if the gas system or any gas related components are over 10 years old, it is recommended to have a specialized comprehensive gas system examination of the property, prior to closing.

I NI NP R

H. Security Systems

Comments: Concealed and inaccessible components are not inspected; conditions remain undetermined.

Security: Not Inspected

- Brinks Home Security has performed a free inspection of your prospective home for an existing security/alarm system. By agreeing to have Brinks inspect this system (arranged when you or your representative scheduled the inspection with Select Inspect), you should understand that a Brinks representative will be calling you at a later time/date at the number you provided. This call generally is to determine if you were satisfied with the service of the Brinks personnel, and to tell you of a "special offer" available if you choose to have Brinks monitor the security/alarm system in your prospective home.

This is the end of the report findings. Important inspection information is continued on the following pages and in the "Guide to Your Home Inspection"; please take time to read them in their entirety.

Thank you for your business; Select Inspect Property Consultants LLC- 214-770-6954.

LIMITATIONS AND EXPLANATIONS

Thank you for choosing Select Inspect. Your business and confidence in our service is greatly appreciated. These final pages are an integral part of the Select Inspect Report; it is important that you read the report in its entirety before purchasing the home.

- **General Limitations:**

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and or reliance upon information in this report, the client agrees to the conditions of the contract, even when the client fails to sign the contract. Client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein.

The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered or not reported. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot and will not eliminate risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered or reported. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain receipts, reports, and warranty information for prior repairs, and receipts, reports, and warranty information for repairs made due to discoveries during this inspection.

- **Foundation / Structure:**

The inspector is not an engineer, and is not required to provide engineering decisions or to specify repair recommendations. The inspector is required to render an opinion on the present condition of the foundation. Time, landscaping modifications, seasonal changes, and moisture conditions will affect the foundation and structure to some degree. The inspector cannot determine the future performance of the foundation or structure. The inspector cannot and does not determine the quality of or appropriateness of reinforcing steel or post tension cable placement and conditions of sleeves, cables, or reinforcing steel within the foundation form. The inspector does not determine if post tension cables are under appropriate tension. Inspector does not determine condition / location of routing in the foundation, or the condition of reinforcing steel / post tension clamps that are covered or otherwise inaccessible. These tests can be done with special equipment, by specialists. These tests are usually expensive, and if issues are found, the correction may damage the foundation, or may not be cost effective.

The crawl space below a pier and beam home has areas that are likely obstructed and or at least partially inaccessible. It is extremely rare that a crawl space will be fully accessible. It should be understood that all conditions within a crawl space will not be discovered. For safety reasons, the inspector is not required to enter a crawl space with an opening of less than 18" X 24", and or crawl space areas having a clearance of less than 18" between the earth and the bottom of the framing. The inspector is not required to enter and inspect crawl space areas that he determines as unsafe. This typically includes conditions such as electrical wiring on the soil or otherwise unsafe in condition obstructing access; wet soils or moldy areas; and the presence or suspected presence of rodents, reptiles, or animals. Floor coverings and stored items at the interior obstruct occupied and vacant homes. Areas within and beneath walls are inaccessible. Conditions of structural components within wall voids, components obstructed by storage or floor coverings, or otherwise inaccessible remain undetermined.

- **Drainage:**

Grading and drainage conditions are noted regarding visible and present conditions on the day of and at the time of inspection. Many North Texas areas contain highly expansive clay soils. These soils are largely responsible for foundation movement. Clay soils should be consistently moist; not too wet and not too dry; to help maintain a stable foundation. Soils / grade should slope away from the home. Grading that slopes toward the home is conducive to foundation movement and insect activity. Some foundation movement and settling is common and expected. By maintaining drainage and moisture levels around and below the home, you can reduce the risk of excessive or significant foundation movement, moisture intrusion, and fungal issues.

It is important to keep the grade level at least 4-6 inches below the bottom of brick / stone. Soil should be at least 6-8 inches below wood or wood-based siding / trim. Siding should be at least one inch minimum above concrete slabs at patio / porch areas. This would allow the edges of the foundation to be visible for inspection of termites and moisture intrusion conditions. High soil and low siding at foundation joints are conducive to moisture intrusion, rot, and termites. If soil levels are adjusted, be sure not to create poor drainage conditions.

Impact of run-off from the inspected property on neighboring homes and visa versa remains undetermined. Condition, slope, capacity, and termination of sub grade gutter or other drain components remains undetermined. Histories of flooding, moisture intrusion, water tables, and elevations are beyond the scope of this inspection, and remain undetermined. Unless noted in the report; the drainage histories, current and future drainage capabilities, past, present, and future mold or fungal issues in crawl space, basement, and sub-grade living, and inaccessible areas are undetermined. Future performance of surface and sub-grade drainage characteristics in weather conditions other than those ongoing at the time of inspection, remain undetermined. Specialty services including flood plain analysis, sub grade water table surveys, and microbiological tests are available from other companies that specialize in those fields. If you have concerns and or desire to alleviate all risk regarding these potential conditions, you should contract a specialist for full evaluation of the property regarding that concern. If obvious problems of nearby foliage are seen, the conditions may be noted in the report. However, future or potential impact of foliage to the property and structures and related issues are undetermined, and any comment regarding such is partial in context. The current or potential impact of large trees around the home is undetermined. If you are concerned with location or condition of trees (of any size) at the property, you should consult a professional landscaping arborist for options.

- **Roof / Attic:**

Roof and attic areas are observed in a cursory manner. Roofs deemed unsafe for access by the inspector will be observed through binoculars at ground level, and or from a ladder placed at the eaves. The inspector is required to describe the method used to inspect the roof. The inspector is looking for obvious immediate repair needs, that may allow moisture intrusion, structural, or safety concerns. The inspection does not report regarding installation with manufacturer specifications, code (current or at the time of installation), or manufacturing defects. This is not a "hail" inspection and should not be used as a hail report. If you are concerned with hail damage or insurability, you should have your insurance company physically examine the roof prior to closing. You should read your insurance policy and make sure you understand all of the policy limitations. All histories of hail may not be visible, and will not be reported. Hail evidence may be noted in the report, though all hail evidence does not necessarily mean hail damage and need for repair. The inspector will observe the roof for obvious flashing defects and improper installation methods. Many areas of flashing are covered by other materials by nature of installation and design; therefore, all potential issues at flashed areas and components will not be found or reported. Lifespan, brand / quality of material, number of roofing layers, presence of felt in all appropriate locations, and insurability are not determined. Structural capacity and integrity of brick or wood supported chimneys is undetermined. Comments may be made regarding obvious or suspected deficiency conditions at the time of inspection; further comprehensive examination and repairs should be made by a framing and or mortar specialist.

The attic areas will be accessed whenever deemed safe by the inspector. The inspector is not required to enter attic areas with height less than 4' clear headroom and those without decking / flooring; these areas are considered inaccessible and unsafe. The inspector may comment on comparison of modern framing standards to older framing , though he does not calculate spans, loads, adequacy, or code compliance (past or present). Attic components are observed for signs or evidence of moisture intrusion, safety issues, and damage or failure. It is common for framing to deflect to some degree, and some new inspectors will

consider all older homes in need of repair. Select Inspect inspectors will form an opinion based on the performance of the structure. Slight deflection, old style framing, and or prior leakage in limited areas do not necessarily warrant or require expensive repair. Our concern is "how has the structure / component performed over its apparent lifespan?" The inspector is required to only comment on prior moisture intrusion evidence in attic areas, whereas the inspector is required to note moisture intrusion at home interior areas as in need of repair. If conditions found in the attic appear significant or ongoing, the inspector will note the condition(s) as in need of repair. Ventilation provisions frequently do not meet current / modern standards. The inspector does not calculate area and appropriateness of ventilation location and adequacy. Ventilation provisions between insulation at vaulted ceilings and roof decking remain undetermined.

- **Insulation:**

Insulation is observed from accessible attic areas. Condition in wall voids and other inaccessible locations remain undetermined. Code compliance, material brand or type, R-value, and efficiency are not determined. Identification of asbestos and fire / health risks are not determined or reported. Vapor barrier presence, adequacy, and appropriateness of installation are not determined or reported, unless obvious defects or conditions are found and noted in the inspection report.

- **Walls (interior and exterior):**

Cosmetic flaws, conditions, or defects are not inspected or reported. Exterior Insulated Finish Systems (EIFS) synthetic stucco are not comprehensively inspected. The presence of or history of mold or moisture intrusion is not inspected. Adequacy of flashing installation, and methods used is undetermined. All homes with EIFS or other synthetic stucco should be inspected by a synthetic stucco specialist prior to closing. Appropriateness, quality, durability, and moisture resistance of brick, mortar, and siding materials are not determined. Some brands of "hard-board" type siding and trim have been under litigation for premature failure, rot, and fungal issues. These pressed board type materials are more prone to moisture / rot damage, and should be kept well caulked and painted to reduce risk. Modern cementitious materials are more durable, less problematic, and more expensive, though they do require some routine maintenance.

- **Windows & Doors:**

Windows and doors are randomly inspected for functionality and moisture intrusion where accessible. Though some comments regarding presence of safety glass may be made, the inspector does not test or compare fenestrations and glass to current standard or code. Some failed double-pane windows and glass may be mentioned, though all conditions may not be found. Conditions prohibiting the findings of all moisture intrusion, deficiencies, and failed seal conditions include: furniture, poor lighting, window treatments, stored items, shrubbery, and other stored items. Some subtle seal failures may go undetected. Cosmetic deficiencies are not inspected and not reported. It is recommended to have all key locked door hardware re-keyed or replaced. Storm windows are not operated.

- **Fireplace:**

Fireplaces are inspected at visible components only. Frequently inaccessible components are: flues, chases, roof side chimneys and caps, and enclosed areas behind logs and prefabricated panels. Drafting characteristics are not determined. Component clearance from combustibles may be noted, when manufacturer labeling is readily accessible, and deficiencies are obvious. Installation to code or manufacturer guidelines is not determined; any comment relating to such is incomplete and partial in context. If concerns or suspect installation methods or components are found, you should have a fireplace specialist examine the fireplace(s) and repair any issues.

- **Electrical:**

Electrical components are tested with normal controls. Outlets and switches are randomly tested at accessible locations only. Furniture, child-proof covers or other obstructions frequently prohibit access to all outlets. Regarding presence and location of GFCI protection: the inspector is required by the Texas Real Estate Commission to compare all homes to current electrical code. Most pre-existing homes will not meet this requirement, and replacement of non-GFCI circuits with GFCI circuits is a good safety recommendation, though updating the home is a subjective decision. Many consider this an improvement rather than a repair. Voltage and amperage ratings are described by observing accessible labeling at accessible service components. Voltage and amperage are not measured. Low voltage systems are not inspected. Landscape lighting is not operated. Comments regarding low voltage and landscape systems are partial in context.

Underground and inaccessible wiring, conduit, or other electrical components are not inspected, and conditions of inaccessible components remain undetermined. Circuits are not traced; the inspector does not determine adequacy or correctness of breaker labeling. Electricity can be deadly; Select Inspect cannot guarantee the home or property to be free from electrical hazards. The inspection does not determine insurability of the property. Any and all electrical concerns should be evaluated and repaired by a master electrician. If an electrician is contracted to work in the home, it is recommended that the electrician examine all electrical components / systems at the property and repair all discovered deficiencies prior to closing.

- **Heat & Air Systems (HVAC):**

HVAC systems are not dismantled and some interior conditions may go undiscovered. Only readily accessible components are inspected. Only readily accessible panels are removed for inspection. Heat exchangers are not opened or fully inspected. Full evaluation of heat exchangers requires an HVAC specialist. Humidifiers, dehumidifiers, electronic air filters, and solar space heaters are not inspected. The inspector does not determine supply adequacy or distribution balance. The HVAC systems are operated with normal controls (thermostats), when possible. Heat pumps are not operated in heat mode when outdoor temperature is 80 degrees or higher. Air-conditioner units are not operated when outdoor temperature is below 60 degrees. Air quality is undetermined. Mold / fungal presence is undetermined in inaccessible areas and components. Evaporators are not usually disassembled. If the evaporator does not have a history of professional cleaning over the past 4-5 years, professional cleaning is highly recommended. If one or more HVAC components are noted in need of repair, and repair is recommended, you should have a licensed HVAC company examine the entire system(s) and repair all discovered deficiencies before closing.

- **Plumbing:**

Laundry appliances and connections are not inspected. Water conditioning / filtration systems; solar water heating equipment; fire sprinkler systems; private waste disposal systems (septic); water wells, well pumps, and water storage equipment; and quantity (pressure), or quality of water supply are not inspected. Sometimes plumbing drains will dry out during vacancy. If this occurs, shortly after re-occupation, there may be a build-up and potential blockage of residual sludge. This can affect drainage and venting. If the home has been vacant for more than a few months, you should either 1) have the lines checked and cleaned, or 2) monitor the drain system for issues. If issues are discovered, cleaning by a licensed plumber will be necessary. Inaccessible flues, drains, supply, gas piping, and related components are not inspected. The condition of all sub grade components remains undetermined. Water heaters are operated in normal modes only, while checking hot water at accessible plumbing fixtures during the inspection. Insurability, remaining life, condition of interior components, and absence of bacteria or corrosion at the interior of the water heater is not warranted or determined. Safety, pressure, and shut-off valves are visually inspected only when accessible, and are not operated. The presence or absence of bacteria or corrosion within inaccessible piping, fixture, and appliance components is undetermined.

- **Appliances:**

Unless otherwise noted, refrigerators, ice-makers, wine coolers, freezers, and similar appliances are not inspected. Appliances that are not inspected are not opened or moved. Refrigeration equipment should not be on GFCI circuits. If the circuit trips, the unit(s) may not restart, and subsequent food spoilage or damage may occur. If a refrigeration appliance is observed on a potential or obvious GFCI circuit, all suspected portions of that circuit will not be GFCI tested. For example: if a refrigerator appears be on a suspected GFCI circuit in the garage, the garage outlets, and exterior outlets are typically on the same circuit, and will not be GFCI tested. If inspected, dishwashers, disposals, compactors, ranges, ovens, and range vents are operated with normal controls only. Appliances are observed in normal use for conditions of deficiency and proper operation. remaining life is undetermined. Future operation after the day and time of inspection is not warranted. Insurability for home warranty coverage is not determined or guaranteed.

- **Sprinkler systems:**

Electronic controlled sprinkler systems are operated, when possible, in normal "test" or "manual" modes only. Condition of sub grade components remains undetermined. Sprinklers should be monitored for damaged heads, improper spray pattern, and clogged tips. The settings should be changed seasonally to aid in providing a consistent moisture level in the soil around the home. Excessive watering can be harmful to the foundation, may cause rot, moisture intrusion, or mortar erosion, and is conducive to insects including termites. Non-mechanical sprinklers (those that attach to exterior faucets) are not inspected. Coverage area or deficiency and quality / placement of installation is not inspected and undetermined.

- **Swimming Pools:**

Pools can be unsafe. Select Inspect does not determine the safety of, quality of construction, life expectancy of any component, or condition of any inaccessible components. Drain and jet capacity is undetermined. Filters, heaters, electrical components, and valves are not disassembled. Computer controls and electronic

valves are not inspected. Pool equipment is operated in normal service modes only. Safety of the pool and surrounding area is not inspected. Quality of the deck, shell or liner, and plaster / gunite is not inspected and is undetermined. Backwash provisions are inspected for presence where required, but are not tested.

Condition and location of sub grade components including piping, electrical, and pool structure are not inspected and such is undetermined. Condition of decking is visually inspected only. The future performance or integrity of the decking system and any decking drains is undetermined. Fiberglass or vinyl liners are not inspected. Any comments regarding these pool types are limited and partial in context. Fiberglass and vinyl lined pools should be inspected by a pool specialist, familiar with that style of construction. Any pool related repairs should be made by a pool specialist, after full evaluation of the pool and equipment.

- **Gas Lines & Gas Components:**

Carbon monoxide presence or potential is not inspected and is undetermined. If gas fueled appliances are present in the home, you are recommended to install carbon monoxide detectors per manufacturer and CPSC guidelines. Condition and type of inaccessible components including gas lines, connections, and inaccessible appliance components remains undetermined. Drafting and venting characteristics regarding gas appliances (natural or LP) are not inspected and remain undetermined.

- **Environmental and Mold:**

The inspector is not asbestos certified, and will not positively identify asbestos materials. The inspector may denote materials that in his opinion are similar to or may possibly be asbestos-based or asbestos-inclusive. The inspector may comment on moisture intrusion and visible fungal growth found in the home, though we do not test for mold. Regarding visible fungus (mold, mildew, etc.): we do not determine mold type, determine if it is active or dormant, or quantity (PPM). Mold requires moisture to grow; areas that mold are commonly found include, but are not limited to: air ducts, air registers, and plenums; inner and outer air-conditioner components; below or behind sinks, flooring, and cabinets in bathrooms and kitchens; under flooring; wall voids; behind plumbing components; crawl spaces; poorly ventilated attics; synthetic stucco walls; "hard-board" type exterior walls, water heater areas, and fenestrations (windows & doors). Select Inspect did not take fungus or air samples from the home. If you are concerned about health related issues, we recommend that you consult an indoor air quality firm prior to purchasing the property for evaluation and options for cleaning. Please note that although there are many firms conducting this type of service, many are reputable and reasonably priced, while others may be found to be extremely high cost for similar work. Researching and evaluating various firms and their methods for remediation would be prudent, if you plan to pursue those measures. Select Inspect does not determine past flooding, moisture intrusion, or all leakage histories, and cannot determine if the home will flood or have moisture intrusion or leakage issues in the future. Refer to the seller's disclosure for possible information regarding moisture intrusion and leakage history of components and conditions at the property. Some insurance companies will not insure homes with prior flooding or water / mold damage claims or history. If the history of the home is suspect, you should contact your insurance provider to ensure the home and components will be insurable without exception, prior to closing.

If you have concerns about asbestos, radon, mold or other environmental issues at the property, you should contact a specialist. If possible, you should choose a contractor registered and certified by the Environmental Protection Agency (EPA). Websites related to these concerns are: <http://www.epa.gov/iaq/ia-intro.html>; and indoor air quality links from the Texas Department of Health (TDH) can be found at: <http://www.tdh.state.tx.us/beh/iaq/iaqlinks.htm>.

- **Other**

Select Inspect aims to be the best in the industry. We perform our services with due diligence, commitment, and pride in our company. However, there are conditions that can prevent Select Inspect from being perfect and error free; such as, distractions from other persons or animals at the property, weather conditions, obstructions of stored items inside and out, inaccessible areas, including but not limited to wall voids, attic and crawl space areas, and underground or geological conditions. Therefore, we cannot and do not guarantee that every condition will be discovered. This is a general inspection, though in every attempt, a thorough inspection. If you have specific areas of concern, or desire to alleviate all questions of liability, there are specialized inspections from tradesmen in each specific field that may offer warranties and life expectancy quotes.

Select Inspect does not guarantee to discover or identify and report any recalled components that may be present at the property. If the inspector discovers a component that he suspects to be involved in a recall, he will attempt to include discovered information in a related section of your report. When possible, links to extended related information will be included in the report, and in all cases, it is recommended that you check the Consumer Product Safety Commission (CPSC) website at <http://www.cpsc.gov>, and consult a licensed specialist in the related field, when you have concerns about a component; even if it was not specifically mentioned in your report.

Many home warranty companies will deny claims based on preexisting conditions, excessive corrosion, systems and components that were / are "not to code", "not to manufacturer specifications", or near / at / past their expected lifespan. To reduce the risk of being turned down on a claim, it is recommended that you have a representative from your home warranty company examine the home and components to verify they will offer coverage without exclusion on all components you want covered in the policy. The Texas Real Estate Commission and your agent may have a list of recommended home warranty companies to choose from. Coverage is usually very limited, and you should read and understand their fine print, before choosing a provider. Reliance of information within this document by third parties is not permissible. **This report is non-transferable and is not to be used for insurance or warranty underwriting or reference by third parties without written consent from Select Inspect.** This report does not cover all information regarding issues and conditions that home warranty or insurance providers use to determine coverage.

DIGITAL PHOTOGRAPHS

Supplementary to this Inspection Report

Photographs within this document are of limited components and or conditions that may have been noted as "in need of repair or deficient". These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All "deficient / correction recommended" comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report, the Limitations pages of this report, and the "Guide to Your Home Inspection". This document is not to be used without the other pages and documentation related to the Property Inspection Report.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member or friend. When you meet someone buying a home, please remember to mention Select Inspect. Please call 214-770-6954 if we may be of further service.



↑ uncaulked fasteners at roof- example



↑ tar repair at flues- example



↑ tar repair at chimney flashing



↑ moisture staining/evidence at chimney – attic



↑ offset rafters and undersized ridge example in attic

inspect.com



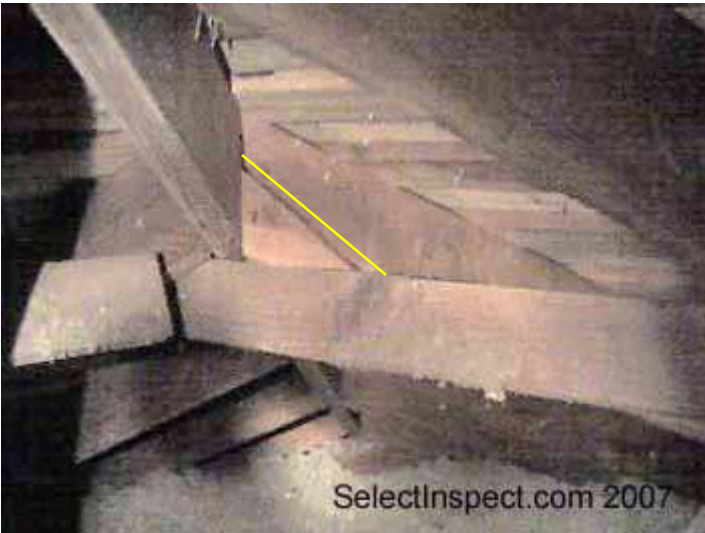
↑ "T backs" not present and deflected struts in central east attic



↑ cracked strut at south-southeast attic



↑ failed rafter at northeast attic –left



↑ cracked rafter at northeast attic – right



↑ amiss insulation at furdown- example



↑ amiss insulation at furdown- example 2

inspect.com



↑ wet, moisture damaged insulation adjacent furnace flue



↑ failed and poorly secured header at attic ladder



↑ unworkmanlike connection of attic ladder to footer

inspect.com



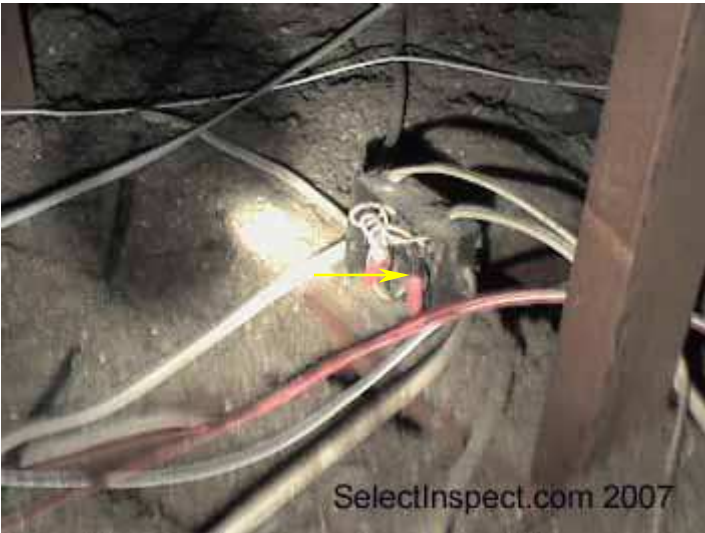
↑ poor mortar seal at smoke shelf- fireplace



↑ chimney cap needs mortar repair and appropriate ember screen



↑ unsealed opening at electrical panel



↑ amiss / deficient electrical box in attic- example at central east



↑ sealed mechanical closet fresh air port and amiss / deficient tape joints at HVAC



↑ flexible gas pipe unprotected at furnace cabinet penetration; no pan under water heater; HVAC resting on deflected plywood; leakage (corrosion) evidence at air-conditioner evaporator



↑ close view of corrosion and leakage history at air-conditioner evaporator



↑ furnace- flue does not meet listed clearance ratings from combustible materials; tar repair history and current leakage



↑ air-conditioner refrigerant line not insulated at crawl space

inspect.com



↑ moisture staining/evidence below HVAC (crawl space) and fungus on air plenum components



↑ crimped primary condensate line and plenum/duct components not raised 4 inches above soil- below HVAC (crawl space)



↑ leakage and moisture discovered below hall bathroom toilet



↑ cracked perimeter at master shower tiles



↑ water heater temperature-pressure-relief improperly terminates in the crawl space



↑ water heater- flue not meeting wood clearance requirements

inspect.com



↑ recommend more thorough sealing of kitchen vent at roof penetration- metal tape and or mastic



↑ small leak discovered at irrigation connector, adjacent front porch- zone 4

SelectInspect.com