

Select Inspect

Property Consultants, LLC

Property Inspection Report

Prepared exclusively for:
Client



at: 123 street; Southlake, TX 76092



The greatest compliment I can receive is a referral from you,
to a friend, family member, or coworker.

Thank you for choosing Select Inspect.

Sincerely,

Bruce W. Carr

214-770-6954

Select Inspect Property Consultants LLC
2001 Reston McKinney, TX 75070
PROPERTY INSPECTION REPORT

Prepared For: Client
(Name of Client / Purchaser of service)

Concerning: 123 street Southlake, Texas
(Address or Other Identification of Inspected Property)

By: Bruce W. Carr; TREC #5281 ASHI Member # 211804 Tuesday, February 22, 2011
(Name and License Number of Inspector) (Date)

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.state.tx.us.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with all manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector will note which systems and components were Inspected (I), Not Inspected (NI), Not Present (NP), and/or Deficient (D). General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another. Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I.

This property inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTION, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc.

These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

This report is prepared exclusively for the client named at the top of this document. Reliance of information within this document by third parties is not permissible. This report is non-transferable and is not to be used for insurance or warranty underwriting or reference, and is not acceptable for use by subsequent or potential buyers of this property, or any persons other than those named above.

Important related documents are provided with this report. The information at the end of this report and in the "Select Inspect Guide to Your Home Inspection" (available at www.SelectInspect.com) is an integral part of this report, and should be kept with this report for future reference. Select Inspect performs the home inspection to the standards of the Texas Real Estate Commission (http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp) and standards of practice (<http://www.homeinspector.org/standards/default.aspx>) of the American Society of Home Inspectors www.ashi.org, , unless otherwise noted.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warrantees are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare all components and conditions to determine if all components and conditions are compliant to past or current code requirements. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. If the inspector suspects a component to be involved in a recall, we will attempt to identify the component and offer a route for you to find more information on that system. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

Items marked only as "inspected" were found to be operating as intended, relative to age and function, and not having significant, obvious defect or unsafe conditions at the time of inspection. Items marked as "not inspected" were not inspected; if necessary, a comment as to why the component was not inspected will be provided. If a component is marked "not present", the item was not discovered installed and operational at the property.

If a component is listed "deficient", the component or condition was found to be amiss & or unsafe in the opinion of the inspector or as required by TREC & or ASHI standards. If the client has any concerns about items noted in the report the client should have an experienced professional in the related field examine all related components of that entire system, prior to closing. A qualified licensed, bonded professional of your choosing should be contracted to make all necessary repairs. After repairs have been made, the client should have the company or person performing the repairs provide documentation of all items examined, repaired / replaced, and provide a full report of the system. The client should obtain any and all available documentation and warranties regarding prior repairs and services of property components and conditions, and documentation for repairs and services resulting from comments within this report.

If an item is present in the property, but is not inspected the "NI" column will be checked and an explanation is necessary. Comments may be provided by the inspector whether or not an item is deemed deficient. This report may be electronically distributed by SIS and changes, deletions or amendments to the report of any type are strictly prohibited. It is recommended you obtain receipts and warranties for repairs resulting from this inspection.

Some conditions and components that we are required to note as "deficient" may be subjective priorities to you or the seller. It would be prudent to consult specialists hired for related repairs to determine priorities of potentially subjective repairs. We do not determine life expectancy of any component.

REINSPECTION OF REPAIRS & RETURN VISITS TO THE PROPERTY ARE NOT INCLUDED with the original inspection fee. Reinspection will cost a minimum of \$150 to return to the property for up to one hour, & \$100 per hour (\$1.6~ per minute) after the first hour at the property, & a fee of \$1 per mile round-trip. This does not include a written report of the reinspection; a written report will cost an additional \$50. Work performed by unlicensed contractors or amateurs **WILL NOT BE INSPECTED**.

If a trade requires licensing, a licensed contractor must perform & document the work.

Contractor should provide written documentation as to if the work is warranted; how long it is warranted; and if the warranty is transferable to the new owner. Regarding repairs not having documented evidence by a licensed company/tradesman present and readily available at the property during the reinspection, those items **WILL NOT BE INSPECTED**.

For example, if any plumbing is done; it shall be performed & documented by a licensed plumber; if any electrical is done, it shall be performed & documented by a licensed electrician; if any heating, air conditioning, & or ducting work is done, it shall be performed & documented by a licensed HVAC specialist; any framing, roofing, etc shall be performed & documented by a licensed contractor in that related field. It is the full responsibility of the paying party to provide all necessary documentation at the time of the reinspection.

This inspection, the report, and all other related documents are NOT to be used to determine acceptability for insurance underwriting, loan approval, or for any other similar capacity. All related documents are solely for the use of the purchaser/client. Insurance and lenders must arrange their own inspection to determine suitability for their needs. Reliability on this report for insurance, or loan related matters is strictly prohibited.

*Residential & Commercial
Property Inspection*

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Every comment in this report and all related documents is very important and you should read every word.

Additional web-based documents or printed pages were delivered/linked with this report. Read them very carefully. This report is not complete without all attachments.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence of mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment but it does not mean the inspector saw and reported all fungus/mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

This is not a "code inspection", although our standards and procedures are based primarily on the IRC, UBC, NEC, UPC, etc. Many comments will, however, cite specific code references in order to support the inspector's findings and the inspector's opinion regarding some (not all) deficiencies.

All deficient drainage conditions should be professionally repaired, and the home frequently monitored for movement; if movement is observed or if you are concerned at any time about the foundation or structural integrity of the home, consult an engineer. This home most likely will cost you more than your vehicle(s); assuming you regularly have your vehicle checked and professionally serviced, you should plan to provide similar regular maintenance and checkups on your home/property as well. Routine maintenance of structural, mechanical, and other components in or affecting the integrity and or performance of the home, will assuredly increase the service life of your property and its components.

Select Inspect cannot prioritize for you; there are too many variables for every item mentioned in the report, please do not ask. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire, safety, electrical, HVAC, moisture intrusion / leakage, carbon monoxide, natural and or propane gas, fungal, and structural concerns be comprehensively examined by a licensed or occupationally certified specialist in the respective field. Complete and appropriate permanent repairs should then be made without delay.

Deficient conditions will be reported in this document that are noted as *incorrect, not ideal or not functioning as intended*. However, from a performance standpoint immediate repair needs may be subjective regarding deficient components, systems, items that are not causing safety, fire, or health risks; are not structurally significant; and/or are not financially excessive. Monitor closely and arrange repair/improvement when feasible; or if you are unwilling/unable to accept the risk of monitoring and maintaining components of the property, you should arrange professional repair and obtain warranties prior to closing.

IMPORTANT: A contract (Home Inspection Agreement) was provided and signed by you or your representative at the time of inspection. The contract contains important information related to the scope of this inspection, limitations, and other comments. If you have not already, please read the contract in its entirety, and contact us if you have any questions; 214-770-6954. Your business is important to me, and I appreciate your choosing Select Inspect.

I. STRUCTURAL SYSTEMS

Site Conditions & Persons Present During Inspection:

Approximate year built: 2002; [per MLS, CAD, or other documentation / person(s)]

Person(s) Present: Client(s) Selling Agent Occupant / Seller Listing Agent

Home was: Occupied Vacant Unoccupied with Furnishings or storage / staging

Additions/modifications to the structure: Yes Not discovered Suspected; not verified

Faces Primarily: North Temperature: 50 - 60 Degrees (approximate at beginning of inspection)

Weather: Dry Rain Stormy Ice / Snow Dark / limited lighting, morning, evening

Visibility: Sunny Partly Cloudy Cloudy / Overcast Moderate Wind High Wind

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A.1. Foundation

Foundation Types discovered at property: Slab on grade

Comments (An opinion on performance is mandatory.) The inspector will in most cases only comment on the foundation as "inspected. In the event "excessive" structural movement is suspected, only a licensed structural engineer will have the authority to determine if foundation "repair" is justified. Only an engineer has the education and certification to accurately determine the extent of foundation movement and to prescribe any necessary repairs. The inspector will make note of conditions indicating foundation movement and possible contributing factors. The inspector will form an opinion that based upon his findings, reflects whether or not a likelihood of need for repair will be justified. The inspector will document whether in his opinion, the foundation appears satisfactory, is questionable, or likely needs repair. If the inspector documents any opinion other than satisfactory, it would be prudent to consult an engineer or other foundation specialist of your choosing to evaluate site and structure. If you have any concerns, or you are unwilling to accept risk of maintaining the site and structure, you should hire an engineer to fully evaluate the site and structure for conditions needing improvement and or repair. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

In the inspector's opinion, the overall performance of the foundation/structure does not appear abnormal or excessive, by common standards.

Stability & or future performance are not guaranteed. Recommend you take one of the following options:

Accept the home AS IS & provide a consistent, regimented moisture maintenance program including correction of any high soil, poor drainage, moisture intrusion, & foliage intrusion conditions at the property. If you are unwilling to take responsibility for corrective maintenance & or if you are unwilling to accept any & all risk involved with improperly maintaining or failing to maintain the property understanding current & potential condition, select option #2.

OR

Prior to closing: Hire a professional Structural specialist or Engineer to examine the entire property & structure that s/he may then provide an opinion regarding permanent corrective actions, if such action is determined to be necessary. Opinions between engineers may differ, & second opinions may be a prudent decision.

The following conditions were discovered at the time of inspection:

Indications of commonly seen stress / settlement were discovered, including;

- ✦ **INTERIOR:**
 - Drywall nails have popped through the painted interior surfaces at master closet, foyer, south bathroom, & bedrooms. This is common, & is related to normal settling & shrinkage movements.
- ✦ **EXTERIOR:**
 - Closed masonry/veneer cracks (*less than 1/8" wide*) discovered at n, east, west, southeast.

Movement Indications TREC considers as adverse performance were discovered, including;

- ✦ **INTERIOR:**
 - Thin/closed Interior wall cracks discovered guest bath, living room arches, master bedroom & bath, foyer, split bath, loft.
 - Drywall tape joint cracks & or compression discovered at the master furr down
 - Upper wall / ceiling crack(s) discovered at powder bath, foyer, loft, & northeast bedroom may often be from roof structure settlement & not significantly/solely foundation related
 - Trim separation/stress at ceiling, wall, floor, door casing/trim or other joints discovered at the breakfast nook, master, gameroom
 - Garage concrete is cracked. Thin cracking is common, though larger cracks can indicate excessive or uncommon movement. Garage concrete cracks did not appear to extend through the beam(s) at one or more location; these should be closely monitored.
 - Tile & or grout cracks at showers; separation & or compression of wood/wood-like flooring at the loft imply stress.
 - Unsquare/difficult interior doors that rub flooring & or door frame(s) at the master toilet room & office
 - Doors have been modified to accommodate unsquare jambs
 - Binding, out-of-square, non-latching, warped, or twisted doors or frames & or out-of-square wall openings or separations between the framing door frames at the master toilet & office
 - Unsquare/difficult windows
 - Binding, out-of-square, non-latching, warped, or twisted windows or frames & or out-of-square wall openings or separations between the framing & window frames
 - Slab cracks discovered (closed/thin) at the kitchen, work-station, breakfast nook, family room.

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- Common cracking of slab foundations is possible & common, even on young homes. Concrete below flooring may be cracked; this cannot usually be determined without removing floor coverings. Conditions beneath flooring remain undetermined

✦ EXTERIOR:

- Open masonry/veneer cracks (*greater than 1/8" wide*) discovered at the north & northeast
- Open masonry/veneer cracks (*greater than 1/4" wide*) discovered at the north-northeast
- Horizontal masonry/veneer cracks discovered at the north
- Exterior evidence of separation at window framing & veneer discovered at the north-northeast.
- Out-of-square wall openings or separations at wall openings or between the cladding & window/door frames at exterior doorways.
- Sloping & or unsquare/difficult exterior doors indicate some degree of structural movement.
- Slab or perimeter beam (foundation) cracks/fissures seen at garage & rear porches

Discovered conditions that TREC requires to be reported as deficiencies include;

✦ INTERIOR:

- None discovered

✦ EXTERIOR:

- Exposed or damaged post tension ends exists at the east. The exposed components should be sealed to prevent corrosion. This is commonly found, even on young homes, & is typically seen as a regular maintenance item. These areas should be cleaned thoroughly & sealed with water resistant mortar or an appropriate high performance epoxy. In some cases it may be necessary to cut & remove the cable, then replace it with a new cable that would then be stressed to tension. Extended / long-term exposure & subsequent corrosion may result in failure of the clamp/cable connection & expensive related repairs.

I NI NP D

A.2. Structure:

Structure comments include sub floor, wall, & ceiling structures of the building where conditions other than foundation issues appear to be contributing to deficiencies in the opinion of the inspector; please refer to section D of this report for comments related to roof & attic structure.

SUB FLOOR:

Separation of loft wood floor adjacent the front porch indicates possibility (suspect) moisture intrusion & swelling of structural frame/beam. Deficient flashing noted at the exterior adjacent.

INTERIOR WALL & CEILING STRUCTURE: often including, but not limited to conditions of foundation stress and or roof/attic structure stress.

Structural stress is implied by cracks & unsquare doorways in the home.

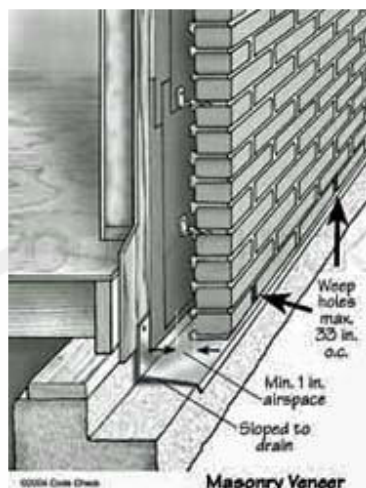
Significant structural issues were not found or observed concerning the wall & ceiling structure at the time of inspection; common settlement cracks were discovered. Unsquare doors & or windows may be related to structural settlement/stress. In the limited time the inspector is at the home, it is difficult to determine whether the conditions are ongoing, have recently occurred, or at what time in the past they were active. It is not reasonable to determine on one visit if stress cracks are related to foundation or structural movements, or a combination of both. We recommend that you observe the area(s) over time. If issues are discovered, you should contact a specialist to examine the situation, and prescribe options for permanent repair.

EXTERIOR WALL STRUCTURE: often including, but not limited to conditions of foundation stress and or roof/attic structure stress.

Exterior window sills did not have a recommended 15° slope for drainage at multiple locations; slope at random locations was approximately -2, 0, 3, 4° Repair options may be limited. Condition & appropriateness of flashing & substrate components is undetermined.

Weep openings appeared to have been omitted at the rear from the master bedroom patio area to the south side of the outdoor grill, & at the small southeast patio. Such is not recommended, as these provide drainage of condensation from within the wall voids. – *image on following page*

Presence or lack of weeps & other conditions were not inspected at all of the front & much of the north due to obstruction of heavy foliage; Conditions in not readily accessible/inaccessible locations remain undetermined.



Horizontal cracks, step cracks, & vertical separation & cracks were discovered at the north (office/study, master bedroom & bath, & upstairs northeast bedroom). Some of the cracks were greater than 1/8", and appear excessive/abnormal; you should consult an engineer of your choosing or other specialist for evaluation and or details related to their findings and recommended course of action.

Brick has been painted; some cracks & other stress evidence may have been covered & not readily visible during this cursory inspection. Some conditions remain undetermined.

Some mortar joints at this home were a raked or dry-stack style, meaning the mortar edges between the bricks are deeper and often squared off, rather than shallower rounded mortar joints. By having a larger surface area / ledge at the brick/stone, this may allow premature erosion of the mortar & may be prone to moisture intrusion. Consult a mason specialist for options if you have concerns or to learn more.

Condition & appropriateness of the wall voids & related components such as vapor barrier, air space, drainage plane, potential mortar/debris obstructions, etc are mostly/all not readily accessible & not inspected. Incorrect conditions may allow moisture intrusion & or inability of the walls to properly dry from condensation. This could lead to fungal spore accumulation & related air & moisture damage issues.

Flashing was not seen at lintel locations above windows & doors; the lintels may be "L" channel, though without invasive measure this could not be determined. Condition & type of lintel & presence/absence of appropriate flashing/& drainage plane remains undetermined.

Chimney brick/stone facing supported by wood framing did not appear to have drainage plane/weep openings. Related attic was not accessible; deflection of related framing was not obvious at the time of inspection. It is recommended to have a structural specialist or engineer evaluate the issue and prescribe appropriate improvement options.

Other Structural Related:

Soil moisture/drainage conditions were discovered that may adversely affect the structure. Refer to the grading/drainage comments in the next section.

NOTE: most undesirable foundation issues in north Texas are caused by poor moisture maintenance around the home. refer to the next section "Grading & Drainage" for information that may be relative to foundation movement at this property.

Foliage conditions were discovered at one or more exterior location that may adversely affect the structure. Refer to [section I.M. Other Structural / Foliage](#) comments later in this report.

Additional Information:

This report, including the foundation & structural opinion, represents one inspector's opinion of visible evidence present and accessible on the day of the inspection. Future performance of the foundation and structure is not warranted. Regular maintenance is needed to keep the foundation from unusual movement or failure. Information concerning moisture maintenance and foundation control measures is at the end of this report.

The inspector's opinion, based on observations of physical evidence, is opinion only; additional information regarding the foundation and structure can be obtained through consultations with a professional engineer of your choosing. In the limited time the inspector is at the property, it is difficult to determine whether observed conditions are ongoing, have recently occurred, or at what time in the past they were active. We recommend you monitor the structure periodically in all cases. If issues are discovered, you should contact a specialist to examine the situation, so they may prescribe options for permanent repair. Opinions of performance and methods of maintenance, repair, or monitoring vary person to person.

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B. Grading and Drainage

Soil conditions at the time of inspection:	Damp / Moist
Some areas (if different) were noted as:	moist / acceptable

Comments: Underground components are not inspected; sub-grade conditions remain undetermined. Drainage conditions are subject to change, considering amount and frequency of rains, seasonal changes, irrigation system settings, erosion. This inspection does not investigate or identify sub-grade water tables, springs, or elasticity qualities of soils. Grade conditions should be monitored through the life of the home. Prior drainage issues at the property cannot usually be identified by this inspection. Refer to the seller's disclosure for possible information regarding past drainage problems and or correction. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Soil Grading and Drainage: Deficient

- Form stakes & or boards should be removed from soil adjacent the structure- condition(s) discovered at the southeast exterior of the master bedroom. This is conducive to decay and wood destroying insects; examination for wood destroying insects in related wood is recommended at the time of removal.
- The grade/soil level at west, east, northwest, & southwest locations was at or above the bottom of the veneer (stucco, brick, stone, siding, etc). Repair is recommended. This may obstruct weep openings and is conducive to moisture intrusion, rot, and termites. Ideally, the brick / stone joint at the foundation would be four to six inches above soil and at least one inch minimum from adjacent concrete slabs. This would allow the edge of the foundation to be visible for inspection of termites and moisture intrusion conditions. It is common for this standard to be frequently ignored. If repairs are made, the substrate should be examined for wood rot and termites. If undesirable conditions are found, further repairs should be arranged. If soil/bark/mulch is lowered or removed, ensure the areas will have proper drainage away from the structure; ideally 6" drop in slope within the first 10 feet from the structure; or to an appropriate drain to not allow excess moisture within 6 feet of the home.
- Excess erosion has occurred below the scupper drains at the sides of the front porch. Recommend repair of porch roof, replacement and compaction of native soils at the eroded areas (sloping away from the home, and not above the foundation edge), and adding stones or similar to disperse rain water.
- Low areas were observed that promote slow or poor drainage at the south-southeast & north. Filling and compacting native soils in these areas is recommended. Modifying soils to properly direct water to an appropriate offsite location is recommended. After soil repair is done, monitor these and other areas for appropriate drainage; repair when necessary.
- Planter / garden areas at the rear appeared marginal regarding draining ability, and may promote slow or poor drainage of irrigation and rain. Monitor this item over time and repair as needed.
- Rodent burrow was noted near the home at the front right. This is conducive to moisture accumulation and potential subsequent foundation movement. Recommend the opening(s) be filled and compressed. Recommend relocating any living creatures from within, as humanely as possible.

Roof Drainage/Guttering: Deficient

- Debris, sags, incorrect slope conditions, loosely secured components, etc were noted. Have routine maintenance performed with other roof related repairs.

I NI NP D

C. Roof Covering

Roof Material: Composition Wood Shingle / Shake Tile Roll-Out Slate Artificial slate

Roof Inspected from: Walking Roof Surfaces Ground with Binoculars Ladder at Eaves

Most accessible Some areas Inaccessible Most Roof areas Inaccessible

Too Steep / High Wet / Ice / Slippery Deemed unsafe to walk - injury/damage risk

Comments: This inspection does not determine past hail damage, remaining life expectancy, or insurability of the roof systems. All areas in North Texas are subject to hail storms, and you should verify acceptability of any questionable conditions by your insurance / home warranty provider prior to closing. If it is not raining at the time of inspection, it is unlikely that the inspector can positively identify ongoing leakage issues. All roof systems should be monitored during / after rainy weather and or hail. Condition of underground or otherwise inaccessible guttering components remains undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Roof Coverings: Deficient

- Front porch roof is aged, cracking, & had flashing deficiencies. Suspect moisture intrusion at the abutment to the home wall.
- Front porch upper eave had separations implying stress or pulling away; openings exist.

- ✦ Flashing was unworkmanlike & openings exist behind the cast stone features at the upper right & left above the front porch.
- ✦ Water heater & furnace flues were less than required height. Manufactured and masonry chimneys & flues shall terminate at least 3 feet above the roof, and at least 2 feet above anything within 10 feet. Too short a chimney/flue can adversely affect proper drafting (rising air) characteristics. Examination by a licensed professional and subsequent correction of all discovered deficiencies is strongly recommended.
- ✦ Open-faced (uncaulked) fasteners exist at vents, flues, flashings. Though technically incorrect this is commonly found, even on new homes. Correction is generally simple, inexpensive, and is recommended.
- ✦ Drip-edge-flashing was not correctly cut & or folded at various rake/eave corner locations. Technically, the higher (rake) edge would be atop the lower (eave) section, without excessive gaps or exposed roof deck; this aids in consistently directing water upward and out, in the event driving rains get below the shingles.
- ✦ Evidence of prior repair / repair attempts was discovered at front porch roof covering materials, flashing details. Evidence of repair is typically implied by shingles of variant tone, type, or quality; by caulking, tar, other type of sealant; and or obvious visual modification of roof components.
- ✦ Roof fasteners were not all visible; not readily accessible without lifting shingles and potentially causing damage. The condition and appropriateness of roof covering & sheathing (felt) fasteners was not inspected and is undetermined, except if noted otherwise and listed specifically in other commentary within this section of the report.

I NI NP D

D. Roof Structure and Attic

<u>Framing style:</u>	<u>Conventional:</u> _____
<u>Type of Underlayment observed:</u>	<u>Plywood or OSB :</u> _____
<u>Viewed From:</u>	<u>Walking decked areas</u> <u>Some areas not safe for direct access</u>
<u>Insulation Type:</u>	<u>Batt (roll-out) and Blown ; Fiberglass</u>
<u>Approximate Average horizontal Insulation depth- ceilings</u>	<u>6 - 8 inches</u>
<u>Approximate Average vertical Insulation thickness- walls</u>	<u>6 inches or less</u>

Ventilation: Roof / Box Turbine Eave /Soffit Gable Electric Ridge

Obstruction of access / vision Stored items Low clearances HVAC items Other

Lack of deck/attic flooring at some locations Animal(s) suspected / discovered

Comments: Attic components are observed in a cursory fashion. This includes only those areas and components that are safely accessible and visible at the time of inspection. Obstructions within the attic may include, but are not limited to: stored items; HVAC, plumbing, and electrical components; low clearances; lack of attic flooring; small, obstructed, or inaccessible attic hatches. When possible, the inspector will identify known obstructions, and make every effort to access areas when conditions to do so safely are available. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information. Advisory Use caution when entering/exiting or moving about in attic areas.

Attic Access: Deficient

- ✦ The attic stairs were not installed to manufacturer’s guidelines. Manufacturers recommend securing the stair to framing with 16D nails or ¼” lag screws. Commonly appropriate fasteners were not seen at the perimeter (mounting to the ceiling joists) and or hinges/corner hardware of the ladder(s), and would not meet sheer strength requirements for installation. NOTE: framing gun nails labeled as 16D are unacceptable, as these are more like a smaller 10D common nail. These are often used, but are inappropriately labeled and do not offer adequate shear strength. The stairs should be considered unsafe. Recommend securing the stairs to manufacturer specifications.
- ✦ Wires and cables were installed in an unworkmanlike manner and create multiple maneuverability hazards in the attic.
- ✦ Ladder hardware (nuts, screws, etc) is loosely secured or missing at stair components. The unit is unsteady and repair would be prudent to reduce risk of failure and injury.
- ✦ Attic hatches were deficient, seal poorly. Some degree of energy efficiency loss is likely.

Attic Structure: Deficient

- ✦ Moisture intrusion evidence was discovered at the southeast (rear porch) air vent & at the southwest walk-in attic
- ✦ Decking (attic floor) is thin and soft or otherwise unsteady at the upper south attic. This is potentially unsafe. Repair is recommended. Use caution when entering/exiting or moving about in attic areas.

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- ✦ There was not a clear, solid (having no gaps), unobstructed 24" floored pathway to the mechanical system(s) from the upstairs south access. This is considered a safety risk for persons examining or servicing the mechanical systems (HVAC, water heater, etc).

Attic Insulation & other accessible insulation: Deficient

- ✦ Insulation was missing, fallen from a vertical wall, or otherwise deficient at exercise room, family room, media room, northwest bedroom, & general areas in each attic. Correction / improvement would be prudent.
- ✦ Insulation (foam or other) was not present or was inadequate around walk-in attic door frames; energy loss was confirmed.
- ✦ Insulation is inspected in a very general manner from limited accessible locations; Conditions in not readily accessible/inaccessible locations remain undetermined; this is general in nature & is not a comprehensive investigation of all areas.

Attic Ventilation: Deficient

- ✦ Eave baffles were not discovered, and are used to keep blown insulation from obstructing eave vents. It is possible that the eave vents are covered and rendered inadequate. Consider improvement with other roof / attic repairs.

I NI NP D

E. Walls (Interior and Exterior)

Interior Wall Structure: Wood framing Metal Framing Brick / Masonry

Interior Obstructions: Storage Furnishings Décor Other

Exterior Obstructions: Foliage Storage Deck Building Other

Exterior Wall & Trim: Brick Stone Masonry Stucco Artificial Stucco Wood / Pressed Wood

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information. Granite countertops, if present, are not tested for presence of or levels of uranium or radiation. Related information can be found at: <http://www.selectinspect.com/links1.htm#radonlink>

Interior Walls: Deficient

- ✦ Moisture intrusion was indicated by peeling/bubbled paint & cracks below the living room upper windows.
- ✦ Moisture damage exists at trim adjacent the south bathroom shower.
- ✦ Recommend sealant touch-up (caulking) at the top tile/panel edge joint to the wall. This will reduce potential for moisture intrusion and fungal accumulation on the shower substrate (between the shower and walls)
- ✦ Thermal imaging implied thin insulation or other common locations of energy loss at vaults, room perimeters, electrical receptacles at the interior of exterior walls

Cabinetry/Countertops: Deficient

- ✦ The kitchen sink(s) is installed with the counter overlapping the sink edge. This is called a "fouling area" and is prone to unsanitary bacterial accumulation under the edge, and is difficult to keep clean for food preparation / sanitation concerns. Fungus or bacteria may be present in the overlapping edges. Options are limited. Caulking the joint may improve the condition, though ideally the counter should be cut to not overlap the sink. At the least, keep the area clean and monitor the caulked joint for touch-up/repair needs. (UPC 401.1)
- ✦ Cabinet doors were inadequately secured at kitchen, laundry room, split bath
- ✦ Hardware was amiss at the southeast bathroom.
- ✦ Cabinets and components therein were obstructed by stored items. The inspector does not remove personal belongings or stored items. Conditions behind/below personal items remain undetermined.

Exterior Walls: Deficient

- ✦ Foliage touches the home at multiple perimeter locations. This is conducive to insect and moisture penetration. Foliage touching the home also creates a potential for damage to brick and siding areas. It is recommended to keep plants and shrubs trimmed at least 6 inches from the home, and to keep trees trimmed 5 feet from the home. Trimming of foliage is recommended. The heavier the coverage, the more relevant the need for trimming. Conditions in not readily accessible/inaccessible locations remain undetermined.
Though allowing shrubs to grow close to the home is not recommended, many people prefer the aesthetics of dense foliage over a less intrusive landscaping alternative. The decision to maintain your foliage may be subjective depending upon your landscaping preferences.

- ✦ Rot exists at front porch components & eave areas above the front porch. Damaged/deficient wood-based components should be removed and replaced; all six sides of the wood piece(s) should be primed and painted. Cellulose material should be kept caulked and painted to resist decay. Rot is conducive to wood destroying insects and continued decay of adjacent cellulose components. Adjust irrigation to not directly spray the home. Presence or extent of damage at hidden components is undetermined.
- ✦ Windows need caulk touch-up / repair at exterior perimeters
- ✦ Stucco material is present at exterior walls. The specific type and brand is undetermined; many of the stucco and synthetic stucco products have been involved in litigation, and may be problematic. The inspector looks for obvious defects, significant deficiencies, and related issues in accessible locations only. Some of material at this home appeared to be masonry stucco and some synthetic (EIFS) stucco. This material must be well maintained, including keeping all joints, cracks, pits, penetrations (outlets, lights, etc) and edges properly sealed. The bottom edge should ideally be at least 4 inches (ideally 6 inches) above grade/soil.
I strongly suggest that the installer and a authorized representative of the manufacturer examine the cladding (masonry and artificial stucco) at all locations on this building for proper installation methods; the installer and manufacturer should then confirm or deny appropriate installation. If the installation cannot be guaranteed to be free of deficiencies, then repair will be required. Conditions noted at the time of inspection include, but are not limited to the following:
 - Thin cracks at corners & fenestrations which need sealant repair.
- ✦ Upper northwest gable peak insert was inadequately secured; openings exist; bird & insect entry was noted.
- ✦ Front window sill stones (office/study & dining room) were noted as inadequately secured. mortar/sill repair is recommended.
- ✦ Mortar tuck-pointing is recommended at cast stone sills & ledges.

I NI NP D

 F. Ceilings and FloorsCeiling Structure: Wood or engineered wood framing Metal FramingFloor Structure: Concrete Slab Wood Framing and Subfloor over crawl spaceObstructions: Floor coverings Furnishings Storage / Personal Items Sub floors

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Ceilings: Deficient

- ✦ Moisture staining discovered at the family room east & southwest. Attic above the east moisture staining had missing insulation, implying someone attempted to locate or repair the condition; area above the southwest moisture staining was obstructed by unworkmanlike air ducting & lack of floor/decking & was not readily accessible.

Floors: Deficient

- ✦ Spreading & deflection of wood floor at the loft-southwest- is suspected to be related to deficient flashing at the adjacent front porch.

I NI NP D

 G. Doors (Interior and Exterior)Obstructions: Storage Furnishings Vehicle(s) Locked Other

Comments: This inspection does not include or report cosmetic related conditions. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Interior Doors: Deficient

- ✦ Ball spring at the guest bedroom closet needs adjustment
- ✦ Handle was inadequately secured at the guest bath.
- ✦ Office/study door was not functioning as intended; unsquare.
- ✦ Master toilet door was unsquare & has inadequately secured hinges

Exterior Doors: Deficient

- ✦ The door from the interior to the garage has self-closing hinges that were not functioning as intended. Adjustment of the hinges may correct the condition.

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Report Identification 123 street; Southlake, TX

- ✦ Unsquare doors that did not seal properly were noted at the breakfast nook, laundry room, southeast bathroom, master patio, & front.
- ✦ Pet damaged weatherstrip was noted at the garage & patio doors.

Garage Door: Deficient

Garage Door Type: Metal Wood Fiberglass / Plastic / Composite Insulated
Garage Door / Frame: Overhead Modern Hinged Antiquated

- ✦ Bottom panels of the garage door(s) are damaged- rotten, warped, broken, etc. Due to this condition the doors were not tested for reverse features of the garage door operators.
- ✦ It is recommended to read and follow all manufacturer’s labels, warnings, and maintenance information. Following these guidelines will provide for safer conditions, and can extend the life of the unit(s) and components. This refers to garage doors and garage door operators.

I NI NP D

H. Windows

Window Type:	Multi-pane, Insulated _ _
Window Framing:	Metal Wood _

Obstructions: Storage Furnishings Window Treatments / Shutters Foliage Poor lighting conditions

Comments: *Though some comments may be made regarding safety glass, you should understand that these comments are limited. This inspection departs from conditions and current standards regarding safety glass, and are not respective of all possible conditions. Regulations vary city to city, and frequently change. If you are concerned, please consult a glass specialist, familiar with requirements in your area. Refer to the limitation information at the end of this document and consult your “Guide to Your Home Inspection” for more important related information.*

Windows: Deficient

- ✦ Failed (foggy) double pane windows were noted or are suspected. The condition may not greatly reduce insulating efficiency, and in some opinions is more a cosmetic issue. A window specialist should examine these and all windows in the home to prepare a quote for replacement if replacement is desired. Due to dirty windows, obstructions and lighting conditions, some seal failures may have gone un-noticed. Failed or questionable windows exist at:
 - ✦ Four formal living area windows & at the master bathroom.
- ✦ Office/study windows were not functioning as intended; appeared to be restricted by excess foliage.
- ✦ Moisture evidence was indicated by staining, damage, and or swelling at interior window drywall and or sills at living room, gameroom, master, northeast bedroom. This appears to be from condensation, rather than leakage; metal windows condense more than vinyl clad. Window condensation is often caused/contributed to by inadequate house ventilation; such may also indicate poor indoor air quality. Ventilation deficiencies may be in the entire home, or more prevelant in certain areas of the home; consult a knowledgeable HVAC contractor for options.
- ✦ Security components should not have been installed at the bottom frame of the windows, as this compromises the integrity of the manufactured windows’ ability to keep water out of the wall void. It is likely that this installation has created an opening in the moisture barrier/window flashing; and that too is likely compromised. Small openings around the sensors may be prone to moisture intrusion into the wall void and adjacent materials. Check each window, Seal and repair deficiencies where discovered, and monitor- repair if necessary in the future. The condition voids manufacturer warranty in most cases. Presence & or extent of moisture damage & fungus in the wall void below & adjacent these areas is undetermined.
- ✦ Some upstairs window(s) have a lower open edge of less than 24” above the interior finished floor & may pose a risk to persons/children falling out when the window is open. This 2006 code requirement may not have been in force in this city until 2008 or later, as many cities do not adopt new codes (updated every three years) until 2-3 years after the “new” code is released. If concerned, you may consider checking with your local building/code enforcement department.
 2006 IRC - 613.2 - Window Sills: “In dwelling units, where the opening of an operable window is located more than 72 inches (1829mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610mm) above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches (610mm) shall be fixed or have openings through which a 4-inch-diameter (102 mm) sphere cannot pass.
 Exceptions:
 1. Windows whose openings will not allow a 4-inch-diameter (102mm) sphere to pass through the Opening when the opening is in its largest opened position.
 2. Openings that are provided with window guards that comply with ASTM F 2006 or F 2090”.

I NI NP D

I. Stairways (Interior and Exterior)

Comments: All accessible stairways, regardless of age are compared to modern safety standards. Some "Improvements" and immediacy for repair or improvement may be subjective.

Stairways & related component(s) are not inspected in an exhaustive manner, but rather for significant & obvious deficiencies or potential safety/hazard concerns in the opinion of the inspector, discovered during the limited time of inspection. If you are interested in more comprehensive stairway requirements, please refer to <http://www.stairways.org/pdf/2006%20Stair%20IRC%20SCREEN.pdf> & verify compliance independently

Stairways: Deficient

✦ Stair railing is unsteady adjacent the formal living area. Securing is recommended.

I NI NP D

J. Fireplace / Chimney

Fireplace: Masonry: Prefabricated. Modern Faux Old / antiquated style
Chase: Masonry Frame & Veneer Frame & Brick/Stone Not present
Flue: Masonry Metal Direct Vent Undetermined Not present
Cap / Crown: Mortar Metal Undetermined Other Not present
Inspected at: Ground / in home Roof (limited) Attic (limited)

Comments: Inaccessible components are not inspected, and conditions remain undetermined. Inspection of inaccessible areas of flue / chimney interiors, fire screens / doors, mantels and surrounds is beyond the scope of this inspection. Code compliance and drafting characteristics are not determined by this inspection. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

*NOTICE: The National Fire Protection Association (NFPA) requires a Level 2 inspection of fireplaces upon resale of the property. This should be performed by a professional chimney sweep who is a member of the Chimney Safety Institute of America and the National Chimney Sweep Guild. <http://www.ncsg.org/>
<http://www.csia.org/HomeownerResources/ChimneySafetyInfo/tabid/112/Default.aspx>
http://www.sweep-masters.com/csia_visual_glossary.html*

Fireplace & Hearth: Deficient

✦ Cracks exist in one or more panel inserts at the family room. The component(s) was in poor condition; replacement of the component(s) is recommended.

✦ Ash and or wood debris in the family room fireplace obstructs visibility. Cleaning is recommended.

Damper: Inspected

Fireplace Flue / Liner: Deficient

✦ Living room flue/chimney was not discovered in the attic & was not located at the roof; this should be discovered & examined with other fireplace services.

✦ NOTE: Proper firestopping provisions were not confirmed, as the attic area surrounding the chase/flue was not readily accessible. Concealed chimney / chase portions of the flue were not readily accessible; conditions within remain undetermined.

Chimney / Chase: Inspected

✦ Chimneys with brick facing appeared to be supported by wood framing in the attic. The weight of the brick may cause deflection. Visible exterior deflection was not found at the time of inspection. Significant deflection or failure was not seen at the exterior. Related interior movement was not evident. Monitor this item periodically and repair if / when needed.

Mortar Cap / Chase Cover: Not Inspected

✦ The chimney caps were inaccessible.

Gas Components: Deficient

✦ The gas ignition at the living room was inoperable at the time of inspection. The pilot lighted okay, though the unit would not operate when demand was presented. The regulator valve may be at fault.

I NI NP D

K. Porches, Balconies, Decks, and Carports (Attached)

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

I NI NP D

L. Flatwork (Driveways, Sidewalks)

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

I NI NP D

M. Other (i.e. foliage, retaining walls, other structural related)

Comments:

Other: Deficient

- ✦ Foliage touches the home at various perimeter locations. This is conducive to insect and moisture penetration. Foliage touching the home also creates a potential for damage to brick and siding areas. It is recommended to keep plants and shrubs trimmed at least 6 inches from the home, and to keep trees trimmed 5 feet from the home. Trimming of foliage is recommended. The heavier the coverage, the more relevant the need for trimming. Though allowing shrubs to grow close to the home is not recommended, many people prefer the aesthetics of dense foliage over a less intrusive landscaping alternative. The decision to maintain your foliage may be subjective depending upon your landscaping preferences. Densely foliated areas are also obstructed and not readily accessible for inspection or discovery of wood destroying insects.
- ✦ Large shrubs or trees touch the roof and or upper wall(s) at the northeast. This is conducive to roof and wall damage. This is also conducive to insect and moisture penetration. It is recommended to keep plants and shrubs trimmed at least 6 inches from the home, and to keep trees trimmed 5 feet from the home. Trimming of foliage is recommended. The heavier the coverage, the more relevant the need for trimming. If roof damage was discovered, it is noted above in the "Roof Covering" section in this report.

II. ELECTRICAL SYSTEMS

I NI NP D

A. Service Entrance and Panels

Service Type; & Meter Location:	Underground Side
Wire / Conductor Type:	Romex like (non-metallic sheathed cable)
Service wires at the main panel(s)	Copper
Maximum Amperage as indicated by the main breaker or panel labeling:	200 amps 200 amps
Approximate Voltage at Service Panel, as indicated by wiring method:	120 / 240 Voltage is not measured
Breaker or fuse Panel Location(s):	Main- Exterior Sub- Exterior Other Sub- Not Found or Not Present

Comments: Measuring amperage, voltage, or impedance is beyond the scope of this inspection. Alarm systems, low voltage systems, and remote controls are beyond the scope of this inspection and are not inspected, unless otherwise specifically noted in this section. The Texas Real Estate Commission requires comparison of all homes to current standards regarding AFCI protection. This means Texas inspectors must call out all locations that do not meet current standards as "deficient", without enabling a grandfathering clause. Codes and standards change often, and it is common that most homes (even many new homes) will not meet current TREC criteria. Obstructions are not unplugged or moved to access obstructed components. Appliances & corresponding OCPD are not referenced for compliance of manufacturer recommended current sizing. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information. Due to time & access limitations during a typical home inspection, the SoP for the electrical inspection portion of the TREC requirements is hereby departed from. Bonding/continuity, for example, is tested at major component(s) & systems only where accessible for an overall general assessment of conditions within the home/property.

Service Entry: Deficient

- ✦ Electrical service equipment requires minimum 36" clearance for access.
- ✦ NOTE: Grounding electrode was not visibly confirmed; likely below soil or in the slab near the service riser.

Service Panels: Deficient

- ✦ One or more rooms and or required circuits did not have AFC (arc-fault-circuit) protection present as required in the 2009 NEC (National Electric Code). The Texas Real Estate Commission requires inspectors to report as Deficient the lack of Arc-Fault protection at circuits serving: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms and areas. This basically includes all locations that are not required to be

GFCI protected, should be AFCI protected according this standard.

These are a valuable fire safety component and you should consider upgrading older breakers with this modern device; however, each breaker may cost \$40 or more, and there will usually be at least 10-15 needed for an average 2500-3000 sq foot home. Many homes built since 2008 already will have these, but only in the bedrooms.

Many newer homes do not even meet this specific Texas Real Estate Commission requirement. More information regarding AFCI at <http://www.afcisafety.org/products.html>

- ✦ Breakers are not properly/legibly labeled for location.
- ✦ The electrical disconnect panels for the air conditioner condenser unit(s) did not meet recommended clearance; the disconnect is considered a service panel and requires 30" lateral clearance and 36" front clearance from grade up to six feet in height. Disconnecting means shall be located within sight and readily accessible from the air conditioning or refrigeration equipment. Immediate repair needs may be subjective, and may be cost prohibitive pending your level of concern. This is mostly an access inconvenience for service personnel & not a safety hazard or urgent condition.
- ✦ Electrical service equipment requires minimum 36" clearance for access.

I NI NP D

B. Branch Circuits- Connected Devices and Fixtures

Branch Wire Seen at Panel(s):

Copper

Comments: Inspection of electrical outlets, switches, and fixtures is performed by testing a representative number of these components in accessible locations. In occupied homes, some electrical components are not accessible and not inspected due to personal items, furnishings, childproof covers, and other obstructions. Outlets, fixtures, switches, and smoke detection devices, if tested, are randomly inspected in a representative manner, where accessible. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information. GFCI (ground fault circuit interrupt) Devices
The Texas Real Estate Commission requires comparison of all homes to current standards regarding GFCI location and operation. This means Texas inspectors must call out all locations that do not meet current standards as "deficient", without enabling a grandfathering clause. Codes and standards change often, and it is common that most homes will not meet current criteria.

GFCI resets noted at:

Kitchen Garage Bath(s) Exterior Elec.Panel NA/not found

GFCI: Deficient

- ✦ **ADVISORY:** GFCI protection was not discovered at all kitchen or at the garage ceiling (garage door operator receptacle(s)). Texas Real Estate Commission standards require GFCI protection at all locations as described in the 2009 NEC (National Electric Code);
"All 125 volt, single-phase, 15- or 20- ampere receptacles installed in garages & grade-level portions of unfinished accessory buildings used for storage or work areas shall have ground-fault circuit interrupter protection for personnel." (IRC E3902)
 In my opinion, it can be argued, that since this receptacle is not readily accessible (typically 8' or higher) that it would not be required to be ground-fault circuit interrupt protected; though the code appears to be vague on this issue. GFCI receptacle(s) at garage locations for refrigerators and garage door operators could be prone to nuisance tripping. If you sell the home in the future, a third-party inspector for the buyer may be required to report the condition as a deficiency.

Outlets: Deficient

- ✦ Receptacle(s) were loosely secured at kitchen, family room, gameroom. All outlets should be checked and tightened / repaired as needed before the home is reoccupied.
- ✦ Cover was missing behind the refrigerator at the laundry room.
- ✦ **ADVISORY:** Many new homes have "tamper-resistant receptacles" as required by newer standards; this home did not have this newer safety feature at one or more locations.
- ✦ **ADVISORY:** Many new homes have modern "weather-resistant receptacles" as required by newer standards; this home did not have this newer safety feature at one or more exterior locations.



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Report Identification 123 street; Southlake, TX

Lighting Fixtures: Deficient

- ✚ Fixtures at the southeast bedroom should be properly mounted with mount covers flush to the ceiling/wall. NEC 410-4 & IRC E3903.9. Excess "reveal" exists at electrical components. Fixtures and related covers shall be flush (*ideally within 1/8"*) and adequately secured & fully sealed to the finished wall / ceiling where mounted.
- ✚ Guest bath fixture was inadequately secured.
- ✚ Fan at the southeast bedroom was out of balance.
- ✚ Shade at the garage southwest was broken.
- ✚ Multiple landscape fixtures appeared broken, inadequately secured, & generally unmaintained.
- ✚ Kitchen, kitchen vent, kitchen patio hall, bar, living room, & various exterior bulbs or fixtures were not functioning as intended at the time of inspection. It is recommended that all fixtures be made operable prior to closing. This typically is corrected by replacing the light bulbs, though it is possible the fixture or other component may be amiss / deficient.

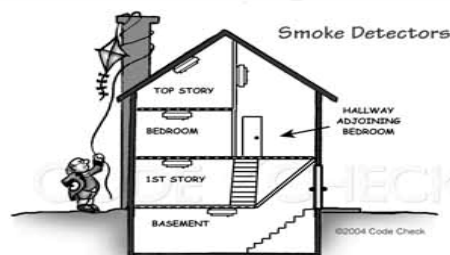
Switches: Deficient

- ✚ Switches were improperly wired for a 3way/4way circuit at the kitchen. This means one switch has to be on for the other to operate the same light. This is unworkmanlike & indicates someone other than a professional electrician installed the device(s).
- ✚ Switches had undetermined application at various locations. Circuit tracing is beyond the scope of this inspection. Refer to the seller for information regarding questionable switches, or have an electrician examine and identify their purpose.

Smoke Detection Devices: Inspected

Smoke Alarms discovered at: Bedroom(s) Hallway(s) Living area(s) Other

- ✚ Some or all of the smoke detection devices were higher than the inspector's reach. Those devices were not tested.
- ✚ ADVISORY: The home is nearing ten years of age; it is time to change the smoke detection devices in the home. It is recommended to test detectors monthly, change batteries annually, and to change the detector itself at least once every ten years.
- ✚ Current minimum recommendation is to have functional smoke detection devices located:
 1. In each bedroom / sleeping room,
 2. Outside each sleeping area (bedroom hallways) in the immediate vicinity of the sleeping rooms, and
 3. On each additional story of the dwelling, including basements but excluding crawl spaces and uninhabitable attics (in dwellings with split levels and without an intervening door between the levels, a smoke alarm installed on the upper level and the adjacent lower level shall suffice provided that the lower level is less than one full story below the upper level).



Smoke detectors are required in each bedroom

- ✚ It is recommended to test detectors monthly, change batteries annually, and to replace each detector at least once every ten years.
- ✚ Modern requirements dictate that smoke detector(s) should be hardwired to the electrical system with battery backup; this can be expensive on homes that do not have wiring in place for this purpose (generally older homes). Alarm(s) were not disassembled to determine if they were/were not hard wired. Consult an electrician if concerned.

Other Accessible Electrical: Deficient

- ✚ Electrical wires/cables shall not be routed along walking surfaces or in any location prone to traffic damage; deficient conditions discovered in the attic(s).
- ✚ Intercom speaker at the master bedroom sounds interference when the lights are used in this room, although the speaker was not on.
- ✚ Continuity at the dishwasher appeared deficient according to testing equipment/multimeter. You should have a licensed electrician examine & arrange correction.

- One or more of the recessed lights has insulation touching the canister. Accessible fixtures observed in the attic were rated for a 3” minimum clearance. An electrician should examine all of the fixtures for proper installation and clearance. This situation can cause overheating and fire hazard conditions. This is a safety issue.
- Electrical wiring at trees or mounted to the structure should be enclosed in approved conduit to at least 8 feet above the ground. A light or security camera was noted at the front drive tree, which was not routed in secured conduit.

III. HEATING, VENTILATION, AND AIR-CONDITIONING SYSTEMS

This inspection is visual and only consists of readily accessible components and conditions at the time of inspection. Components and compartments are not disassembled; this is best done by an HVAC specialist. If you desire to have the HVAC system included in a Home Warranty, you should have a representative of that company examine components that may be covered, to determine compliance.

I NI NP D

A. Heating Equipment

Type: Forced Air Gravity Heat Pump Units: 1 2 3 4+

Age: Modern Antiquated Mixed Ages

Energy Source(s): Natural Gas Electricity Propane Other

Power / Fuel Shut-Off: Beside unit Manifold Switch / breaker Undetermined

Comments: Stand alone-unvented gas units, and in wall gas units in bathrooms, bedrooms, or living areas are considered unsafe. Upgrading to safer modern heating equipment is recommended. If present, this type of heater is beyond the scope of this inspection and was not inspected. Heat exchangers and heating elements are typically inaccessible and are not inspected, unless otherwise noted. Refer to the limitation information at the end of this document and consult your “Guide to Your Home Inspection” for more important related information.

Heating: Inspected

- All systems were general operable, & appeared to be manufactured in 2002.
- Service history was not discovered & is recommended at least every 2 yrs.

I NI NP D

B. Cooling Equipment

Type: Forced Air Evaporative Window Unit(s)

Fuel: Electricity Gas (uncommon in this area; beyond the scope of inspection)

Comments: System capacity, refrigerant type, and remaining life are undetermined. Unless otherwise noted, evaporators, blowers, and condensing units are not disassembled. The HVAC system has many inaccessible components. Full evaluation of refrigerant levels and leakage potentials, evaporators, compressors, blowers, and other inaccessible components requires an HVAC specialist. Refer to the limitation information at the end of this document and consult your “Guide to Your Home Inspection” for more important related information.

Cooling: Deficient

- Prior auxiliary condensate line drainage or leakage is indicated by stains / corrosion at the auxiliary pans and or drains & exterior. Refer to the seller's disclosure for possible information regarding this item. Ongoing leakage was not discovered. Conditions on days warmer than that of the inspected are undetermined.
- North condenser was very obstructed by foliage; the device was noted as having unclean coils & lack of air clearance, by looking through shrubs, though full inspection of the appliance was unavailable.
- Air-conditioner condenser(s) was unclean; the unit(s) should be serviced.
- One or more exterior air-conditioner condensers are obstructed by foliage. Foliage should be trimmed to provide at least one foot clearance around the condenser for proper air flow.
- Condensers are at or touching soil. The units should be 3 inches above grade to prevent premature corrosion of the base of the unit and lower interior components. Repair is recommended.
- Auxiliary condensate drain at the upstairs eave between the south bedroom & living room appeared to have retracted into the eave; this would be a moisture damage potential
- The evaporator interior(s) were inaccessible; this is common as most do not have readily accessible panels. This limits the inspection of many HVAC components. It is possible/probable that the evaporator(s) is dirty or congested and that servicing may be required. If documentation does not exist relating to cleaning / servicing of the evaporator(s) in the past 2 years, it is recommended that you hire an HVAC technician to service the evaporator(s) and related HVAC components.
- Consult a licensed HVAC specialist for full evaluation & improvement/repair options.

I NI NP D

C. Duct System, Chases, and Vents

- Filter Type: Disposable Washable Electronic Other / Undetermined
- Duct Type: Flexible Metal – Insulated Concealed / Undetermined
- Return Duct Location: Attic Between Levels or In-wall Crawl space
- Supply Duct Location: Attic Between Levels or In-wall Crawl space
- Filter Location(s): At Unit(s) Wall Ceiling Floor Not Discovered

Comments: Humidifiers, if present, are beyond the scope of this inspection and are not inspected. Humidifiers are considered conducive to mold growth. We recommend humidifiers not be used. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Ducts, Vents, Chases, & Plenums: Deficient

- ✦ Ducting was unworkmanlike; multiple crimps, sags, lack of support were noted throughout the attics.
- ✦ Crimped and or partially constricted ducting was noted Tight strapping or sharp turns can restrict efficient airflow. Correction / improvement would be prudent.
- ✦ Ducts in various sections are inadequately secured. Repair would likely improve HVAC efficiency. You should contact an HVAC specialist to examine all related HVAC components and recommend improvement, repair or replacement options as needed.
- ✦ Ducts were not secured and were generally resting on the attic insulation. This is acceptable in some cities, though it may reduce efficiency; and if condensation occurs, may allow moisture intrusion to the insulation and home interior (possible cause of moisture staining at the family room southwest). Improvement (properly supporting the ducts with appropriate straps) may improve HVAC efficiency. Have this examined when other HVAC items are evaluated/repaired..
- ✦ Deficient vapor barrier & insulation was noted at the southwest walk-in attic, due to inadequate support/routing.
- ✦ Unworkmanlike modification of a return air vent assembly at the exercise room is allowing intake of unconditioned attic air to the upstairs HVAC system. Discovered at the southwest walk-in attic.

Air Filter(s): Inspected

- ✦ Clean during the inspection; Monitor; provide routine service, and maintain.

Thermostat(s): Deficient

- ✦ Family room thermostat(s) was inadequately secured at the mount plate.
- ✦ Set to heat @ approximately 72 ° or run program prior to departure.

IV. PLUMBING SYSTEM

I NI NP D

A. Water Supply System and Fixtures

- Supply Pipe (visible): Copper Plastic; PEX, or similar Polybutylene Other / undetermined
- Water Meter Location: Front Side Rear Alley Undetermined / Not found
- Water Shut-Off: Exterior Garage Interior room / closet Undetermined
- Waste Pipe (visible): Plastic Metal Drain pipe: Undetermined on slab homes
- Vent Pipe (visible): Plastic Metal

Static water pressure at the time of inspection was approx. 92 psi; 40–80 psi is an acceptable range

Comments: Fixtures are not filled to capacity. Inaccessible components below grade, below, or behind cabinets and walls, and behind or below bathtubs, showers, or sinks are not inspected; conditions and type of material remain undetermined. Personal items are not moved or removed from sink, bathtub, shower, or toilet areas, and these items may obstruct access and visibility. We cannot guarantee that all potential or inaccessible leakage conditions will be discovered. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Plumbing Supply: Deficient

- ✦ Water pressure was 92psi; higher than the recommended 40-80 psi. A pressure reducing valve was not discovered. When a pressure reducing valve is installed, your plumber should install an expansion tank at the water heater. Related information can be found at http://www.watts.com/pro/divisions/watersafety_flowcontrol/learnabout/learnabout_wprv.asp

✦ NOTE: The secondary water shut off valve was not found. The shut off valve may be underneath landscaping materials near the front of the home. Conditions remain undetermined. Locating the shut off is recommended.

Sinks: Deficient

✦ Drainstop was amiss at the southeast bathroom.

Toilets / Bidets: Inspected

Bathtubs: Inspected

Showers: Deficient

✦ Grout was deficient at the downstairs southeast, guest bath, master & split bath shower(s). Openings between tiles will allow moisture intrusion to the substrate. Condition of substrate and presence/extent of fungus / damage is undetermined in not readily accessible locations such as behind tiles or wall materials.

✦ Heads were deficient & not functioning as intended at the master shower.

✦ Master shower door rubs adjacent trim when opening/closing.

Exterior Faucets: Inspected(Attached Only; unless otherwise noted)

✦ Only the rear garden faucet was tested; one or more other faucets may exist behind foliage, but were not located or tested.

Utility Connections: Not Inspected

✦ It is beyond the scope of this inspection to operate laundry plumbing connections and laundry appliances. These fixtures are visually inspected only when accessible. Some conditions remain undetermined. If present, laundry equipment is not moved or inspected.

I NI NP D

B. Drains, Wastes, Vents

Comments: Underground and inaccessible components are not inspected; conditions remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Drains, Wastes, Vents: Inspected

✦ Re: Accessible components: Repair needs were not discovered at the time of inspection.

DWV: Not Inspected

✦ If the home is vacant for more than a few weeks or more before you move in, it is possible that drain lines may dry out. This can cause loose sludge accumulation and congestion down the lines shortly after the home is re-occupied, when water fixtures are put back in use. If this occurs, (generally within the first month or so) cleaning of the lines by a plumber will be necessary. The immediacy of calling a plumber is a subjective decision. OPTIONS: 1) If you are concerned or want to alleviate risk of this possibility, then having the drains serviced prior to move in would be prudent. 2) You can monitor the drains, and contact a plumber if / when congestion is discovered. 3) If there are other plumbing conditions noted in this report that you plan to have improved / repaired, then it may be cost effective to have this possible condition evaluated further at that time.

✦ NOTE:Sub grade, in-wall, and some attic / crawl space plumbing components were not accessible; conditions remain undetermined.

✦ The potential for sub grade plumbing leaks and failure increase as a home ages. If you are concerned or notice problems, consult a specialist to examine the condition of buried pipes.

I NI NP D

C. Water Heating Equipment

Energy Source: Gas Electric LP Capacity: 50 gallon; 50 gallon; ;

Number of units: 1 2 3 or more PRV(s)/TPRV(s): Manually Tested Y N

Power / Fuel Shut-Off: Beside unit Switch or breaker Inaccessible./ undetermined

Comments: The inspection does not determine remaining life expectancy, condition of interior or inaccessible components. The inspection cannot determine if bacteria or corrosion exists at the interior or in inaccessible areas. Average life of a water heater is around 8-12 years; some last longer, some fail sooner. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Water Heater: Deficient

✦ Both flue(s) were not adequately supported/strapped. IRC M1801.7

✦ The temperature-pressure-relief was not tested. The water heater(s) is over three years old- per manufacturer label. It is recommended to have the temperature-pressure-relief tested annually, and

have the temperature-pressure-relief removed and visually inspected every three years or sooner. Most manufacturers also recommend draining / flushing the water heater at least once annually. The unit was producing hot water and appeared generally operable at the time of inspection, though it does not appear to have a documented service history. Recommend having the unit(s) examined and serviced by a plumber, or at the very least, you should realize that it does not likely meet manufacturer's guidelines for routine maintenance. Average life of a water heater is 10-12 years; Serial plate codes on the water heater imply the unit(s) were built in 2001.

- Advisory: It is recommended to read and follow all manufacturer's labels, warnings, and maintenance information. Following these guidelines will provide for safer conditions, and can extend the life of the unit and its components.

I NI NP D

D. Hydro-Massage Therapy Equipment

Comments: This section pertains to individual systems, not part of a swimming pool. Some areas and components are inaccessible by design and location. Conditions of inaccessible components remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Jetted Tub: Deficient

- Jetted tub piping is dirty and unsanitary. Cleaning is recommended; most pool supply companies sell products for this purpose.

V. APPLIANCES

Built-In Appliances, if present and inspected, are inspected in normal modes by using installed standard manufacturer provided controls only, where present & deemed safe to do so by the inspector. Built-In Appliances and related components are examined for noticeable deficiencies of operation, visible damage, and obvious installation issues. Built-In Appliances and related components are not dismantled or moved, unless otherwise noted specifically in this report. Appliances that are not built-in are not inspected unless otherwise noted specifically in this report. Consult your "Guide to Your Home Inspection" and the limitations section at the end of this document for more important information

I NI NP D

A. Dishwasher

Comments: Dishwashers are not "approved" by the inspector for compliance with current local code regarding anti-siphon protection. Most manufacturers route the drain in an anti-siphon manner at the side of the dishwasher; this condition cannot often be determined when the unit is installed. Sink-top anti-siphon devices and other dishwasher drain connections are prone to leakage, congestion, and wear; these should be monitored periodically for leaks and damaged components. Conditions of inaccessible components and lifespan remain undetermined.

Dishwasher: Deficient

- An anti-siphon device was not present & connected to the visible section of dishwasher drain line. Most manufacturers currently provide an approved loop that acts as an atmospheric pressure break at the dishwasher unit; but such could not be confirmed as this location would be concealed in the cabinet. This should work satisfactorily; however it is not interpreted by some as an actual "backflow device".
- Advisory: When the home is / has been vacant for more than a few weeks, please remember to run some hot water through kitchen / bathroom faucets prior to operating the dishwasher when you first move in. This may seem strange, but there is a chance of hydrogen building up in a water heater that has been heating, but not in regular use; this can sometimes cause an explosion when the dishwasher is operated before other water fixtures. In some cases, it is possible for hydrogen to enter and subsequently ignite in the dishwasher when the timer control engages. Running hot water for 4-8 minutes simultaneously at fixtures (when you first move in) should release any potential hydrogen accumulation in the system. Related article can be found at: <http://www.cdc.gov/elcosh/docs/d0400/d000435/d000435.html>.

I NI NP D

B. Food Waste Disposer

Comments:

I NI NP D

Vent Type:

C. Range Exhaust Vent

Recirculating Exterior Down-draft N/A - Not Present Undetermined

Comments:

Range Exhaust Vent: Inspected

➤ The unit was operable at the time of inspection, though some attic/wall concealed areas above and including this vent were not readily accessible. Condition of some components and proper termination is undetermined.

I NI NP D

D. Ranges, Cooktops, and Ovens

Comments: Ranges, stoves, ovens etc are not moved or dismantled in any way unless otherwise specifically noted in this report. Presence of and condition of inaccessible components remain undetermined. Obstruction limitations often include method of installation, stored items, walls, and other components. Condition and type of gas or electrical supply components including gas lines and valves, electrical wires, connections, junction boxes, and conduit are mostly inaccessible; and only readily accessible components if seen will be inspected. Gas valves if present and discovered are not operated unless otherwise specifically noted in this report. Some conditions will be undiscovered and unreported.

Range/Cooktop: Inspected

Range/Cooktop-Energy Source: Natural Gas Electric LP (propane)

Gas, shut-off valve: Below / behind unit In cabinet Unknown / inaccessible.

➤ Shut-off-valve located in lower left cabinet.

Oven: Inspected

OVEN- Energy Source: Natural Gas Electric LP (propane)

Gas, shut-off valve: Below / behind unit In cabinet Unknown / inaccessible.

➤ Operable

I NI NP D

E. Microwave Oven

Comments: Pertains to built-in equipment only. Radiation testing is beyond the scope of this inspection.

I NI NP D

F. Trash Compactor

Comments: Trash compactors have a high repair frequency, and should be kept cleaned and well maintained. It is recommended that you not crush glass or other fragile material in a compactor.

I NI NP D

G. Mechanical Exhaust Vents and Bathroom Heaters (includes utility room fan if present)

Comments: Many attic and in-wall components are inaccessible. Condition of ducting (if present) in non-readily accessible areas and location / appropriateness of vent termination is not determined or guaranteed.

Exhaust Vent / Heater: Deficient

➤ Some / all bathroom /laundry exhaust fans appear to vent to the attic. Vent termination within the attic, at passive roof vents, or at eave vents does not meet manufacturer guidelines. Current standards require venting of bathroom and utility room exhaust fully to the exterior. (IRC M1507). Texas Real Estate Commission considers this deficient, even on older homes. Related technical information can be found at: <http://www.toolbase.org/PDF/DesignGuides/spotventilation1.pdf>



I NI NP D

H. Garage Door Operator(s)

Comments:

Garage Door Operator(s): Deficient

- ✦ Technically the pull cord should be no higher than 6 feet above the floor; one or more manual release cords were higher than 6 feet from the garage floor. Immediate corrective/improvement needs may be subjective.
- ✦ Garage door operator(s) was/were not operated in auto reverse modes, as there was moisture damage/rot & or other pre-existing damage at the door components.
To perform the standard test yourself: 1) Place a 2x4 or equivalent wood block under the center of the door, 2) have the garage door operator close the door; the door should contact the wood block, then reverse. 3) If the door(s) does not reverse, adjustment is necessary & can usually be accomplished by the sensitivity knobs at the overhead garage door operator. **ADVISORY:** Realize that latent defects, such as too much force during this test can cause damage to the door, frame, garage door operator, &/or other components; perform the test at your own risk & financial responsibility or hire an overhead door firm to evaluate & perform this task.

I NI NP D

I. Door Bell and Chimes

Comments:

I NI NP D

J. Dryer Vents

Comments: *This inspection is limited to accessible and visible sections and components only. This inspection does not determine length, code compliance, or presence of obstructions or damage to inaccessible components.*
<http://www.csa.org/HomeownerResources/ClothesDryerVentSafetyTips/tabid/113/Default.aspx>

Vent Routing:

Wall Attic / Roof Crawl space Obstructed Undetermined

Dryer Vent: Not Inspected

- ✦ The vent is partially routed in not readily accessible areas. The complete interior condition of the vent is undetermined, and should be checked for cleaning needs before new appliances are connected.

VI. OPTIONAL SYSTEMS

Optional Systems include Sprinkler systems, Pools / Spas / Hot-tubs, Outbuildings, Outdoor Grills, Gas Lines, Septic systems, Water Wells, Security systems, Fire Control systems. Unless otherwise noted specifically in this report, these and any other systems and components are Not Inspected.

I NI NP D

A. Lawn and Garden Sprinkler Systems

Controls:

Electronic Programmable Manual

Zones Wired: More than 10

Anti-Siphon:

Near Curb Near home Front Side Rear Undetermined

Comments: *Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.*

Irrigation: Deficient

- ✦ Heads were noted as deficient or otherwise not functioning as intended at zones 6 & 22
- ✦ Irrigation heads/risers at various perimeter locations were higher than recommended; these should remain low to ground to offer water below shrubs for the foundation; this is a common error, & can generally be corrected by replacing the risers with shorter component(s).
- ✦ Heads improperly spray the home at various perimeter locations This can be conducive to decay and or mortar erosion. Improperly adjusted sprinkler heads can contribute to foundation movement and conducive conditions. Adjusting the spray pattern, radius, and or direction is recommended.
- ✦ Dense foliage obstructed heads/zones at the west, north, southeast; & some conditions remain undetermined.
- ✦ Anti-siphon device was not found. This may be under landscaping material, and is usually near the water meter. Locating the device is recommended for future reference.

Property Inspection

I NI NP D

 B. Swimming Pools, Spas, Hot Tubs, and Equipment

TYPE: Gunitite Aggregate Fiberglass Vinyl Liner Above ground

Visibility was: Clear Dirty Wind-Blown / Rain Fungus on: Vessel Water

Filter Type: Diatomaceous Earth Cartridge Filter Sand / Permanent Media

Spa/Hot-tub: Part of Pool Elevated Free Standing Not Present

Cleaner: Built-In to Vessel Polaris Kreepy Arneson Other Manual/Brush

Pumps: 1 2 3+ Pump Age(s): Young Antiquated Mixed ages

Skimmers: 1 2 3+ Controls: Computer Manual

Freeze Guard Discovered: Y N Valves: Automatic Manual

Comments: Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information. This inspection is limited to visual assessment of accessible components only. Leak testing is not performed by Select Inspect. If you have specific concerns or any pool related component is noted as deficient, you should have a special comprehensive inspection performed by a pool service company.

Access / Gates: Deficient

- ✦ Fencing and access from the home to the pool should be modified to make it inaccessible to children. Check with local regulatory authorities for requirements in your area.
- ✦ Fences around direct access to the pool should be minimum 48" high.
- ✦ Gate latches should be minimum 54" high, poolside & no openings 1/2" or greater within 18" of the latch. Gates must swing outward & be self-closing and should be kept locked.

Blower: Inspected

- ✦ Operable

Cleaner: Inspected

- ✦ Operable

Deck: Deficient

- ✦ Thin deck cracks and separated coping caulk was noted at the time of inspection. Recaulking of the coping joint is recommended.
- ✦ Stepping stone at the waterfall/river feature has chipping pieces that may be a slip & or cut hazard to bare feet.

Diving Board / Slide: Deficient

- ✦ Rear bolt caps were damaged & may present a cut hazard for bare feet & could allow premature corrosion of bolts.
- ✦ We consider diving boards to be inherently unsafe. If you choose to use the board, be cautious of the clearances around the board and frequently examine the unit for stress cracks, corrosion, or other unsafe conditions. Please advise family and friends of safe use of the board, and always monitor guests' and children's activities around the pool. Some homeowner's insurance companies have limitations or waivers regarding pools with diving boards / slides. Consult your insurance agent if you do not know their policy.

Drain: Not Inspected

- ✦ The water or vessel was dark or discolored; a drain could not be visually determined

Filter: Deficient

- ✦ Gauge was showing 0 psi during operation; suspect the filter is deficient or the gauge is not functioning as intended.

Heater: Deficient

- ✦ Pool heater was inoperable with normal controls. The "service needed" indicator was indicating a problem.
- ✦ Reset to as found prior to departure.

Light / GFCI: Inspected

- ✦ Operable

Pump: Deficient

- ✦ Leakage was discovered at the chlorinator & both pool pump(s) Repair is recommended.
- ✦ The cleaner pump was noisy and may be nearing the end of its useful lifespan.
- ✦ The filter pump was not holding prime.

Skimmer: Deficient

- Weir at the southwest was stuck; not functioning as intended.
- NOTE: a large toad was residing in the northeast skimmer basket; we frightened each other as he jumped into the pool.

Spa: Inspected

- Some efflorescence was noted a the perimeter of the spa. This is generally from slow seepage of salt-deposits through the mortar grout. This is often from moisture from above (splashed water / rain), though there is a chance of leakage. Leakage conditions / cracks were not discovered. Periodically clean the areas, and monitor for cracks and loosening material. Repair as needed at that time.
- Immediate corrective needs were not discovered.

Tile: Inspected

- Some efflorescence was noted. This is from slow seepage of salt-deposits through the mortar grout. Periodically clean the areas, and monitor for cracks and loosening material. Repair as needed at that time.

Timer / Controls: Inspected

- Pool controls were examined and tested using the service controls at the exterior main panel. Interior computer controls and programmable features were not inspected.
- All controls if adjusted for testing, were returned to as found conditions.

Valves: Inspected

- Valves were visually inspected only. Controls were not adjusted.

Vessel: Inspected

- The pool vessel has an aggregate finish . The dark appearance makes it difficult to see cracks/defects. Significant issues were not found or observed concerning this item at the time of inspection. Monitor this item periodically and repair if / when needed.

Visible Pipes: Inspected (Visible & readily accessible pipes & fittings)

- Immediate corrective needs were not discovered.

Other Pool Related: Inspected

- A SRVS was not discovered, this may be a good safety upgrade to consider in the future; more information on this type of product at <http://www.vac-alert.com/>

I NI NP D

D. Outdoor Cooking Equipment

Energy Source:

Natural Gas LP (Propane) Wood / Charcoal (Solid Fuel)

Comments:

Outdoor Grill: Deficient

- Ignition was not functioning as intended
- Grates / interior were unsanitary.

I NI NP D

E. Gas Supply Systems

Gas Meter location:

Front Side Rear Garage Undetermined N/A

Gas Shut-Off:

Meter Attic Garage Service Riser Unknown N/A

Comments: Underground and inaccessible components are not inspected; conditions remain undetermined. Refer to the limitation information at the end of this document and consult your "Guide to Your Home Inspection" for more important related information.

Accessible Gas Components: Inspected

- NOTE: a gas leak test was not done due to obstructions of the gas meter behind excess foliage at the north. Significant issues were not found or observed concerning this item at the time of inspection.
- NOTE: Sediment trap(s) were not seen/not present at the gas branch between the shut-off valve and furnace, stove, and or water heating appliance(s). Historically natural gas in this region is clean and does not require a sediment trap per the supplier. However, many local (city) code departments are currently requiring sediment traps as specified in the code (IRC G2419.4 (UPC408.4)) and the supplier cannot control what happens after the meter. Immediate repair needs may be subjective; You should have a licensed plumber examine the issue(s) and recommend improvement, repair, or replacement options if you are concerned. This is not required at illumination devices, clothes dryers, outdoor grills.

Underground / Inaccessible Gas Components: Not Inspected

- Conditions of inaccessible gas components including but not limited to: buried, in-wall, behind or beneath appliances or components, attic and crawl space locations, or enclosed within any component

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or appliance are not inspected and remain undetermined. If you have concern or if the gas system or any gas related components are over 10 years old, it is recommended to have a specialized comprehensive gas system examination of the property, prior to closing.

I NI NP D

K. Other Built-in Appliances

Comments: Refrigerators, wine chillers, and ice-makers are not inspected, unless specifically requested by the client at or before the time of inspection, or if otherwise noted in this section.

Other Appliance: Deficient

- Refrigerator coils were dirty. Cleaning is recommended to allow proper operation and extended the life of your refrigerator.
- Icemaker coils were dirty. Cleaning is recommended.

This is the end of the report findings. Important inspection information is continued on the following pages and in the “Guide to Your Home Inspection”; please take time to read them in their entirety. Thank you for your business; Select Inspect Property Consultants LLC- 214-770-6954.



LIMITATIONS, EXPLANATIONS, & DEFINITIONS

Thank you for choosing Select Inspect. Your business and confidence in our service is greatly appreciated. These final pages are an integral part of the Select Inspect Report; it is important that you read the report in its entirety before purchasing the home.

OP-I, TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING RECOGNIZED HAZARDS:

"Each year in Texas, people are injured and property losses occur from: improperly installed water heaters in garages, faulty temperature and pressure relief valves on water heaters, and improperly installed (or the lack of) ground fault circuit protection for electrical receptacles in garages, outdoors, bathrooms and kitchen sink areas. In recognition of the studies and recommendations from the U.S. Consumer Products Safety Commission (U.S. CPSC), the Texas Real Estate Commission (TREC) has adopted a rule requiring licensed inspectors to report the above listed hazardous conditions as "deficient" when performing an inspection for a buyer or seller. These conditions may not be a building code violation in a particular city or locale, or may be "grandfathered" because they were present prior to the adoption of city ordinances prohibiting such conditions. TREC has considered the potential for injury or property loss to be significant enough to warrant this notice. The effect of this rule is not to mandate these conditions be remedied, but rather to insure that the consumer be made aware of these significant hazards when revealed by inspection. Once notified, a buyer can decide whether or not to add them to the prioritized list of repairs that is typically provided to a seller under a Texas Earnest Money Contract and the Property Condition Addendum. The decision to correct the hazard is left to the parties involved in the transaction."

General Limitations:

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and or reliance upon information in this report, the client agrees to the conditions of the contract, even when the client fails to sign the contract. Client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein.

The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered or not reported. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot and will not eliminate risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered or reported. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain receipts, reports, and warranty information for prior repairs, and receipts, reports, and warranty information for repairs made due to discoveries during this inspection.

Foundation / Structure:

The inspector is not an engineer, and is not required to provide engineering decisions or to specify repair recommendations. The inspector is required to render an opinion on the present condition of the foundation. Time, landscaping modifications, seasonal changes, and moisture conditions will affect the foundation and structure to some degree. The inspector cannot determine the future performance of the foundation or structure. The inspector cannot and does not determine the quality of or appropriateness of reinforcing steel or post tension cable placement and conditions of sleeves, cables, or reinforcing steel within the foundation form. The inspector does not determine if post tension cables are under appropriate tension. Inspector does not determine condition / location of routing in the foundation, or the condition of reinforcing steel / post tension clamps that are covered or otherwise inaccessible. These tests can be done with special equipment, by specialists. These tests are usually expensive, and if issues are found, the correction may damage the foundation, or may not be cost effective.

The crawl space below a pier and beam home has areas that are likely obstructed and or at least partially inaccessible. It is extremely rare that a crawl space will be fully accessible. It should be understood that all conditions within a crawl space will not be discovered. For safety reasons, the inspector is not required to enter a crawl space with an opening of less than 18" X 24", and or crawl space areas having a clearance of less than 18" between the earth and the bottom of the framing. The inspector is not required to enter and inspect crawl space areas that he determines as unsafe. This typically includes conditions such as electrical wiring on the soil or otherwise unsafe in condition obstructing access; wet soils or moldy areas; and the presence or suspected presence of rodents, reptiles, or animals. Floor coverings and stored items at the interior obstruct occupied and vacant homes. Areas within and beneath walls are inaccessible. Conditions of structural components within wall voids, components obstructed by storage or floor coverings, or otherwise inaccessible remain undetermined.

Drainage:

Grading and drainage conditions are noted regarding visible and present conditions on the day of and at the time of inspection. Many North Texas areas contain highly expansive clay soils. These soils are largely responsible for foundation movement. Clay soils should be consistently moist; not too wet and not too dry; to help maintain a stable foundation. Soils / grade should slope away from the home. Grading that slopes toward the home is conducive to foundation movement and insect activity. Some foundation movement and settling is common and expected. By maintaining drainage and moisture levels around and below the home, you can reduce the risk of excessive or significant foundation movement, moisture intrusion, and fungal issues.

It is important to keep the grade level at least 4-6 inches below the bottom of brick / stone. Soil should be at least 6-8 inches below wood or wood-based siding / trim. Siding should be at least one inch minimum above concrete slabs at patio / porch areas. This would allow the edges of the foundation to be visible for inspection of termites and moisture intrusion conditions. High soil and low siding at foundation joints are conducive to moisture intrusion, rot, and termites. If soil levels are adjusted, be sure not to create poor drainage conditions.

Impact of run-off from the inspected property on neighboring homes and visa versa remains undetermined. Condition, slope, capacity, and termination of sub grade gutter or other drain components remains undetermined. Histories of flooding, moisture intrusion, water tables, and elevations are beyond the scope of this inspection, and remain undetermined. Unless noted in the report; the drainage histories, current and future drainage capabilities, past, present, and future mold or fungal issues in crawl space, basement, and sub-grade living, and inaccessible areas are undetermined. Future performance of surface and sub-grade drainage characteristics in weather conditions other than those ongoing at the time of inspection, remain undetermined. Specialty services including flood plain analysis, sub grade water table surveys, and microbiological tests are available from other companies that specialize in those fields. If you have concerns and or desire to alleviate all risk regarding these potential conditions, you should contract a specialist for full evaluation of the property regarding that concern. If obvious problems of nearby foliage are seen, the conditions may be noted in the report. However, future or potential impact of foliage to the property and structures and related issues are undetermined, and any comment regarding such is partial in context. The current or potential impact of large trees around the home is undetermined. If you are concerned with location or condition of trees (of any size) at the property, you should consult a professional landscaping arborist for options.

Roof / Attic:

Roof and attic areas are observed in a cursory manner. Roofs deemed unsafe for access by the inspector will be observed through binoculars at ground level, and or from a ladder placed at the eaves. The inspector is required to describe the method used to inspect the roof. The inspector is looking for obvious immediate repair needs, that may allow moisture intrusion, structural, or safety concerns. The inspection does not report regarding installation with manufacturer specifications, code (current or

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at the time of installation), or manufacturing defects. This is not a "hail" inspection and should not be used as a hail report. If you are concerned with hail damage or insurability, you should have your insurance company physically examine the roof prior to closing. You should read your insurance policy and make sure you understand all of the policy limitations. All histories of hail may not be visible, and will not be reported. Hail evidence may be noted in the report, though all hail evidence does not necessarily mean hail damage and need for repair. The inspector will observe the roof for obvious flashing defects and improper installation methods. Many areas of flashing are covered by other materials by nature of installation and design; therefore, all potential issues at flashed areas and components will not be found or reported. Lifespan, brand / quality of material, number of roofing layers, presence of felt in all appropriate locations, and insurability are not determined. Structural capacity and integrity of brick or wood supported chimneys is undetermined. Comments may be made regarding obvious or suspected deficiency conditions at the time of inspection; further comprehensive examination and repairs should be made by a framing and or mortar specialist.

The attic areas will be accessed whenever deemed safe by the inspector. The inspector is not required to enter attic areas with height less than 4' clear headroom and those without decking / flooring; these areas are considered inaccessible and unsafe. The inspector may comment on comparison of modern framing standards to older framing, though he does not calculate spans, loads, adequacy, or code compliance (past or present). Attic components are observed for signs or evidence of moisture intrusion, safety issues, and damage or failure. It is common for framing to deflect to some degree, and some new inspectors will consider all older homes deficient. Select Inspect inspectors will form an opinion based on the performance of the structure. Slight deflection, old style framing, and or prior leakage in limited areas do not necessarily warrant or require expensive repair. Our concern is "how has the structure / component performed over its apparent lifespan?" The inspector is required to only comment on prior moisture intrusion evidence in attic areas and discovered interior areas and make a judgment decision whether or not it is a deficiency in the inspector's professional opinion. If moisture conditions found in the home appear significant or ongoing, the inspector will note the condition(s) as deficient. Ventilation provisions frequently do not meet current / modern standards. The inspector does not calculate area and appropriateness of ventilation location and adequacy. Ventilation provisions between insulation at vaulted ceilings and roof decking remain undetermined.

Insulation:

Insulation is observed from accessible attic areas. Condition in wall voids and other inaccessible locations remain undetermined. Code compliance, material brand or type, R-value, and efficiency are not determined. Identification of asbestos and fire / health risks are not determined or reported. Vapor barrier presence, adequacy, and appropriateness of installation are not determined or reported, unless obvious defects or conditions are found and noted in the inspection report.

Walls (interior and exterior):

Cosmetic flaws, conditions, or defects are not inspected or reported. Exterior Insulated Finish Systems (EIFS) synthetic stucco are not comprehensively inspected. The presence of or history of mold or moisture intrusion is not inspected. Adequacy of flashing installation, and methods used is undetermined. All homes with EIFS or other synthetic stucco should be inspected by a synthetic stucco specialist prior to closing. Appropriateness, quality, durability, and moisture resistance of brick, mortar, and siding materials are not determined. Some brands of "hard-board" type siding and trim have been under litigation for premature failure, rot, and fungal issues. These pressed board type materials are more prone to moisture / rot damage, and should be kept well caulked and painted to reduce risk. Modern cementitious materials are more durable, less problematic, and more expensive, though they do require some routine maintenance. **Chinese Drywall links** & related information:

<http://www.cpssc.gov/info/drywall/index.html> & <http://www.doh.state.fl.us/environment/community/indoor-airr/casedefinition.html#presence>

Windows & Doors:

Windows and doors are randomly inspected for functionality and moisture intrusion where accessible. Though some comments regarding presence of safety glass may be made, the inspector does not test or compare fenestrations and glass to current standard or code. Some failed double-pane windows and glass may be mentioned, though all conditions may not be found. Conditions prohibiting the findings of all moisture intrusion, deficiencies, and failed seal conditions include: furniture, poor lighting, window treatments, stored items, shrubbery, and other stored items. Some subtle seal failures may go undetected. Cosmetic deficiencies are not inspected and not reported. It is recommended to have all key locked door hardware re-keyed or replaced. Storm windows are not operated.

Fireplace:

Fireplaces are inspected at visible components only. Frequently inaccessible components are: flues, chases, roof side chimneys and caps, and enclosed areas behind logs and prefabricated panels. Drafting characteristics are not determined. Component clearance from combustibles may be noted, when manufacturer labeling is readily accessible, and deficiencies are obvious. Installation to code or manufacturer guidelines is not determined; any comment relating to such is incomplete and partial in context. If concerns or suspect installation methods or components are found, you should have a fireplace specialist examine the fireplace(s) and repair any issues.

Electrical:

Electrical components are tested with normal controls. Outlets and switches are randomly tested at accessible locations only. Furniture, child-proof covers or other obstructions frequently prohibit access to all outlets. Regarding presence and location of GFCI protection: the inspector is required by the Texas Real Estate Commission to compare all homes to current electrical code. Most pre-existing homes will not meet this requirement, and replacement of non-GFCI circuits with GFCI circuits is a good safety recommendation, though updating the home is a subjective decision. Many consider this an improvement rather than a repair. Voltage and amperage ratings are described by observing accessible labeling at accessible service components. Voltage and amperage are not measured. Low voltage systems are not inspected. Landscape lighting is not operated. Comments regarding low voltage and landscape systems are partial in context. Underground and inaccessible wiring, conduit, or other electrical components are not inspected, and conditions of inaccessible components remain undetermined. Circuits are not traced; the inspector does not determine adequacy or correctness of breaker labeling. Electricity can be deadly; Select Inspect cannot guarantee the home or property to be free from electrical hazards. The inspection does not determine insurability of the property. Any and all electrical concerns should be evaluated and repaired by a master electrician. If an electrician is contracted to work in the home, it is recommended that the electrician examine all electrical components / systems at the property and repair all discovered deficiencies prior to closing.

Heat & Air Systems (HVAC):

HVAC systems are not dismantled and some interior conditions may go undiscovered. Only readily accessible components are inspected. Only readily accessible panels are removed for inspection. Heat exchangers are not opened or fully inspected. Full evaluation of heat exchangers requires an HVAC specialist. Humidifiers, dehumidifiers, electronic air filters, and solar space heaters are not inspected. The inspector does not determine supply adequacy or distribution balance. The HVAC systems are operated with normal controls (thermostats), when possible. Heat pumps are not operated in heat mode when outdoor temperature is 80 degrees or higher. Air-conditioner units are not operated when outdoor temperature is below 60 degrees. Air quality is undetermined. Mold / fungal presence is undetermined in inaccessible areas and components. Evaporators are not usually disassembled. If the evaporator does not have a history of professional cleaning over the past 4-5 years, professional cleaning is highly recommended. If one or more HVAC components are noted deficient, and repair is recommended, you should have a licensed HVAC company examine the entire system(s) and repair all discovered deficiencies before closing.

Plumbing:

Laundry appliances and connections are not inspected. Water conditioning / filtration systems; solar water heating equipment; fire sprinkler systems; private waste disposal systems (septic); water wells, well pumps, and water storage equipment; and quantity (pressure), or quality of water supply are not inspected. Sometimes plumbing drains will dry out during vacancy. If this occurs, shortly after re-occupation, there may be a build-up and potential blockage of residual sludge. This can affect drainage and venting. If the home has been vacant for more than a few months, you should either 1) have the lines checked and cleaned, or 2) monitor the drain system for issues. If issues are discovered, cleaning by a licensed plumber will be necessary. Inaccessible flues, drains, supply, gas piping, and related components are not inspected. The condition of all sub grade components remains undetermined. Water heaters are operated in normal modes only, while checking hot water at accessible plumbing fixtures during the inspection. Insurability, remaining life, condition of interior components, and absence of bacteria or corrosion at the interior of the water heater is not warranted or determined. Safety, pressure, and shut-off valves are visually inspected only when accessible, and are not operated. The presence or absence of bacteria or corrosion within inaccessible piping, fixture, and appliance components is undetermined.

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Appliances:

Unless otherwise noted, refrigerators, ice-makers, wine coolers, freezers, and similar appliances are not inspected. Appliances that are not inspected are not opened or moved. Refrigeration equipment should not be on GFCI circuits. If the circuit trips, the unit(s) may not restart, and subsequent food spoilage or damage may occur. If a refrigeration appliance is observed on a potential or obvious GFCI circuit, all suspected portions of that circuit will not be GFCI tested. For example: if a refrigerator appears to be on a suspected GFCI circuit in the garage, the garage outlets, and exterior outlets are typically on the same circuit, and will not be GFCI tested. If inspected, dishwashers, disposals, compactors, ranges, ovens, and range vents are operated with normal controls only. Appliances are observed in normal use for conditions of deficiency and proper operation. Remaining life is undetermined. Future operation after the day and time of inspection is not warranted. Insurability for home warranty coverage is not determined or guaranteed.

Sprinkler systems:

Electronic controlled sprinkler systems are operated, when possible, in normal "test" or "manual" modes only. Condition of sub grade components remains undetermined. Sprinklers should be monitored for damaged heads, improper spray pattern, and clogged tips. The settings should be changed seasonally to aid in providing a consistent moisture level in the soil around the home. Excessive watering can be harmful to the foundation, may cause rot, moisture intrusion, or mortar erosion, and is conducive to insects including termites. Non-mechanical sprinklers (those that attach to exterior faucets) are not inspected. Coverage area or deficiency and quality / placement of installation is not inspected and undetermined.

Swimming Pools:

Pools can be unsafe. Select Inspect does not determine the safety of, quality of construction, life expectancy of any component, or condition of any inaccessible components. Drain and jet capacity is undetermined. Filters, heaters, electrical components, and valves are not disassembled. Computer controls and electronic valves are not inspected. Pool equipment is operated in normal service modes only. Safety of the pool and surrounding area is not inspected. Quality of the deck, shell or liner, and plaster / gunite is not inspected and is undetermined. Backwash provisions are inspected for presence where required, but are not tested. Condition and location of sub grade components including piping, electrical, and pool structure are not inspected and such is undetermined. Condition of decking is visually inspected only. The future performance or integrity of the decking system and any decking drains is undetermined. Fiberglass or vinyl liners are not inspected. Any comments regarding these pool types are limited and partial in context. Fiberglass and vinyl lined pools should be inspected by a pool specialist, familiar with that style of construction. Any pool related repairs should be made by a pool specialist, after full evaluation of the pool and equipment.

Gas Lines & Gas Components:

Carbon monoxide presence or potential is not inspected and is undetermined. If gas fueled appliances are present in the home, you are recommended to install carbon monoxide detectors per manufacturer and CPSC guidelines. Condition and type of inaccessible components including gas lines, connections, and inaccessible appliance components remains undetermined. Drafting and venting characteristics regarding gas appliances (natural or LP) are not inspected and remain undetermined.

Environmental and Mold:

The inspector is not asbestos certified, and will not positively identify asbestos materials. The inspector may denote materials that in his opinion are similar to or may possibly be asbestos-based or asbestos-inclusive. The inspector may comment on moisture intrusion and visible fungal growth found in the home, though we do not test for mold. Regarding visible fungus (mold, mildew, etc.): we do not determine mold type, determine if it is active or dormant, or quantity (PPM). Mold requires moisture to grow; areas that mold are commonly found include, but are not limited to: air ducts, air registers, and plenums; inner and outer air-conditioner components; below or behind sinks, flooring, and cabinets in bathrooms and kitchens; under flooring; wall voids; behind plumbing components; crawl spaces; poorly ventilated attics; synthetic stucco walls; "hard-board" type exterior walls, water heater areas, and fenestrations (windows & doors). Select Inspect did not take fungus or air samples from the home. If you are concerned about health related issues, we recommend that you consult an indoor air quality firm prior to purchasing the property for evaluation and options for cleaning. Please note that although there are many firms conducting this type of service, many are reputable and reasonably priced, while others may be found to be extremely high cost for similar work. Researching and evaluating various firms and their methods for remediation would be prudent, if you plan to pursue those measures. Select Inspect does not determine past flooding, moisture intrusion, or all leakage histories, and cannot determine if the home will flood or have moisture intrusion or leakage issues in the future. Refer to the seller's disclosure for possible information regarding moisture intrusion and leakage history of components and conditions at the property. Some insurance companies will not insure homes with prior flooding or water / mold damage claims or history. If the history of the home is suspect, you should contact your insurance provider to ensure the home and components will be insurable without exception, prior to closing.

If you have concerns about asbestos, radon, mold or other environmental issues at the property, you should contact a specialist. If possible, you should choose a contractor registered and certified by the Environmental Protection Agency (EPA). Websites related to these concerns are: <http://www.epa.gov/iaq/ia-intro.html>; and indoor air quality links from the Texas Department of Health (TDH) can be found at: <http://www.tdh.state.tx.us/beh/iaq/iaqlinks.htm>.

Other

Select Inspect aims to be the best in the industry. We perform our services with due diligence, commitment, and pride in our company. However, there are conditions that can prevent Select Inspect from being perfect and error free; such as, distractions from other persons or animals at the property, weather conditions, obstructions of stored items inside and out, inaccessible areas, including but not limited to wall voids, attic and crawl space areas, and underground or geological conditions. Therefore, we cannot and do not guarantee that every condition will be discovered. This is a general inspection, though in every attempt, a thorough inspection. If you have specific areas of concern, or desire to alleviate all questions of liability, there are specialized inspections from tradesmen in each specific field that may offer warranties and life expectancy quotes.

Select Inspect does not guarantee to discover or identify and report any recalled components that may be present at the property. If the inspector discovers a component that he suspects to be involved in a recall, he will attempt to include discovered information in a related section of your report. When possible, links to extended related information will be included in the report, and in all cases, it is recommended that you check the Consumer Product Safety Commission (CPSC) website at <http://www.cpsc.gov>, and consult a licensed specialist in the related field, when you have concerns about a component; even if it was not specifically mentioned in your report.

Many home warranty companies will deny claims based on preexisting conditions, excessive corrosion, systems and components that were / are "not to code", "not to manufacturer specifications", or near / at / past their expected lifespan. To reduce the risk of being turned down on a claim, it is recommended that you have a representative from your home warranty company examine the home and components to verify they will offer coverage without exclusion on all components you want covered in the policy. The Texas Real Estate Commission and your agent may have a list of recommended home warranty companies to choose from. Coverage is usually very limited, and you should read and understand their fine print, before choosing a provider. Reliance of information within this document by third parties is not permissible. **This report is non-transferable and is not to be used for insurance or warranty underwriting or reference by third parties without written consent from Select Inspect.** This report does not cover all information regarding issues and conditions that home warranty or insurance providers use to determine coverage.

Definitions, per the Texas Real Estate Commission 2008-2009 Standards of Practice (SOP)

- (1) Accessible--In the reasonable judgment of the inspector, capable of being approached, entered, or viewed without: (A) undue hazard to the inspector;
- (B) moving furnishings or large, heavy, or fragile objects; (C) using specialized tools or procedures; (D) disassembling items other than covers or panels intended to be removed for inspection; (E) damaging property; or (F) using a ladder for portions of the inspection other than the roof or attic space.
- (2) Chapter 1102--Texas Occupations Code, Chapter 1102.
- (3) Cosmetic--Related only to appearance or aesthetics, and not related to structural performance, operability, or water penetration.
- (4) Deficiency--A condition that, in the inspector's reasonable opinion, adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb, or property as specified by these standards of practice. General deficiencies include but are not limited to inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation.
- (5) Deficient--Reported as having one or more deficiencies.
- (6) Inspect--To look at and examine accessible items, parts, systems, or components and report observed deficiencies.
- (7) Performance--Achievement of an operation, function, or configuration consistent with accepted industry practice.
- (8) Report--To provide the inspector's opinions and findings on the standard inspection report form.
- (9) Specialized tools--Tools such as thermal imaging equipment, moisture meters, gas leak detection equipment, environmental testing equipment and devices, elevation determination devices, and ladders capable of reaching surfaces over one story above ground surfaces.
- (10) Specialized procedures--Procedures such as environmental testing, elevation measurement, and any method employing destructive testing that damages otherwise sound materials or finishes.

Photographs within this document are of limited components and or conditions that may have been noted as "deficient". These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All "deficient / correction recommended" comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report, the Limitations pages of this report, and the "Guide to Your Home Inspection". This document is not to be used without the other pages and documentation related to the Property Inspection Report.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member or friend. When you meet someone buying a home, please remember to mention Select Inspect. Please call 214-770-6954 if we may be of further service.

If Thermal images are included; the following applies:

Thermal imaging is a technology that allows the INSPECTOR to show things about a building that cannot be seen with the naked eye. It is NOT x-ray vision, CANNOT see through walls, & is NOT 100% accurate. Thermal imaging offers an advantage to the educated inspector & client to ASSIST this inspector in discovering anomalies that can be used in further investigation to aid in the discovery of deficiencies. This is not a mold inspection; This service will NOT identify all deficiencies at the subject property. Thermal imaging produces images of invisible heat energy emitted from objects and systems in the building. Thermal imaging helps to diagnose the problem rather than merely identify symptoms and can sometimes, but not always, aid the inspector in locating & identifying deficiencies such as, but not limited to: Electrical faults, moisture intrusion, deficient building insulation or other components/materials, heat loss or other energy loss /efficiency conditions. The images can then be included in the inspection report providing supporting documentation to the report. Many images will be taken by the inspector; not all images will be included in the report, unless otherwise agreed to between the inspector & client prior to report preparation. Some interpretations are limited or inconclusive, because invasive measures were not performed to fully diagnose all conditions.

Refer to the temperature scale on the thermal image for variance within each image; please understand that even though there may be "many colors" within each image, such does not mean there is excess temperature variance, deficiency, or abnormal condition. There are multiple factors involved in evaluating each image. Some of these factors include, location in/on the building, structural modifications, ambient temperature, humidity, reflective component(s) in proximity to areas within the image, & other areas & or component(s) that may be more or less emissive within proximity to the areas that may or may not be pictured within the image(s).

Basically, when observing the Thermal images the following applies: brighter colors (red, orange, yellow, white, etc) have more heat & darker/blue-tone colors (blue, green, purple, etc) have less heat / cooler.

In summer/warmer months the bright colors generally imply heat infiltration at the interior; dark colors imply moisture intrusion or conditioned air loss at the exterior.

In winter/colder months the dark colors generally imply cold infiltration at the interior; bright colors imply moisture intrusion or heated air loss at the exterior.

Some electrical and mechanical components have a high heat or some energy loss signature simply due to the nature of their operation, & unless an unusual condition is discovered, would not necessarily be included in this report.

Refer to your "Contract & Service Agreement" for related information.

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DIGITAL PHOTOGRAPHS; Supplementary to this Inspection Report



↑ discovered exposed post tension end(s) at the exterior master bedroom



↑ stress evidence discovered at north



↑ 1/4" +- crack above window, thin cracks below window, & window separation from veneer/frame



↑ diagonal/step cracks & horizontal crack(s)



↑ flashing gap implies suspect deflection at roofline or wall stress



↑ close view of image at left



↑ stress cracks at the guest bedroom east



↑ close view of image above left window



↑ close view of image above right window



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↑ stress, openings, & moisture damage above front porch; left



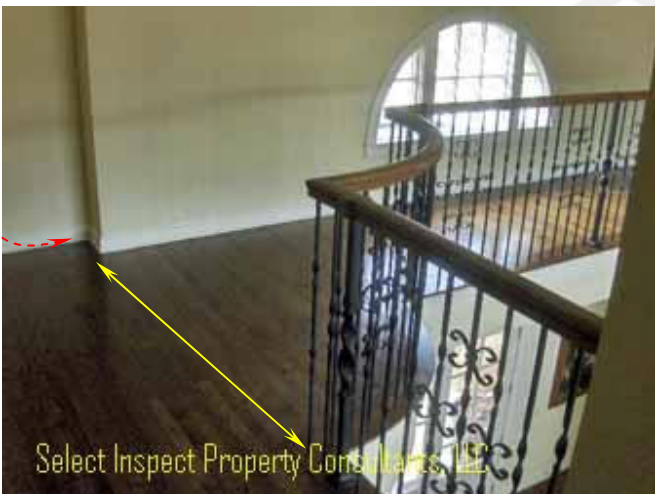
↑ stress, openings, & moisture damage above front porch; right



↑ deficiency flashing & openings; front porch right



↑ close view of image at left



↑ stress at loft floor; directly adjacent the deficient flashing shown above



↑ close view of image at left; *suspect* moisture intrusion & swelling of subfloor framing

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Property Inspection

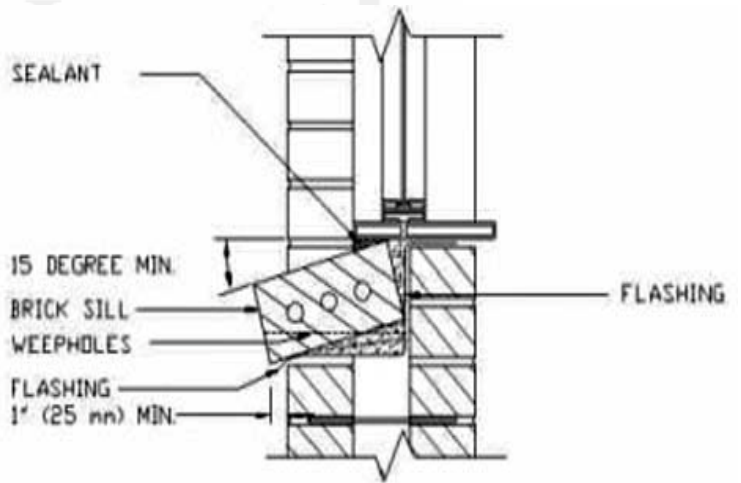
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↑ example deficient mortar & sealant at windows; stone mortar is unconventional method/deep-set. This & excess ivy conditions are prone to premature wear & moisture intrusion



↑ brick ledge(s) had inadequate slope; example 1° rather than minimum 15°



↑ moisture damage & fungus exists at the front porch components; example right side



↑ moisture damage & aged roll roofing; front porch



↑ moisture damage & aged roll roofing; front porch



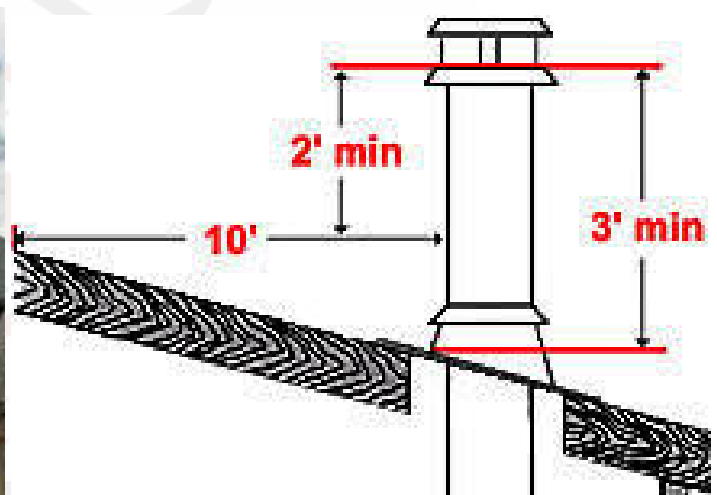
↑ deficient gutters & openings/unworkmanlike flashing; example at front porch left



↑ close view of image above-behind cast stone; openings & moisture damage- suspect moisture intrusion exists



↑ flues & chimneys shall terminate at least 3 feet above the roof, and at least 2 feet above anything within 10 feet for appropriate drafting ability; *formal living area fireplace flue was not discovered in the attic or at the exterior-roof





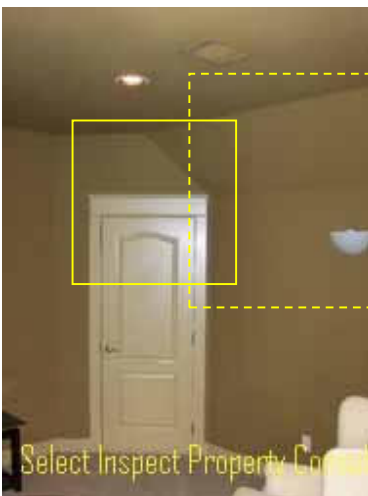
↑ there should be a minimum 24" pathway to the HVAC from the top of the access, with no gaps or obstructions; electrical wires/cables shall not be routed along walking surfaces or in any location prone to traffic damage; soft floor may be a trip risk (red "X")



↑ Thermal imaging from image below-left



↑ Thermal imaging from image below-right



↑ Thermal imaging implies energy loss at media room attic doors & ceiling / wall locations



↑ example deficient insulation above family room east



↑ example deficient insulation & location adjacent moisture staining above family room east



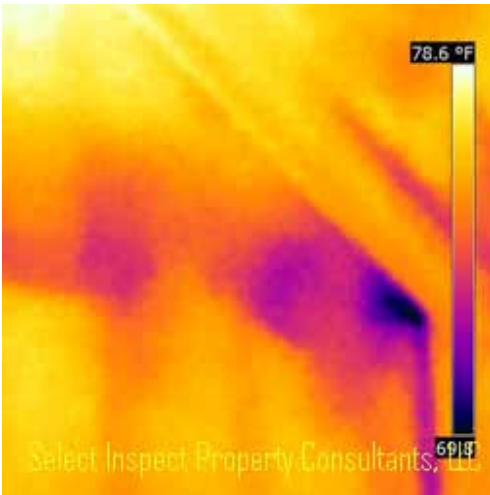
↑ example deficient insulation & unworkmanlike modification of return duct at exercise room south



↑ close view of image at left; return is pulling air from the attic/unconditioned space



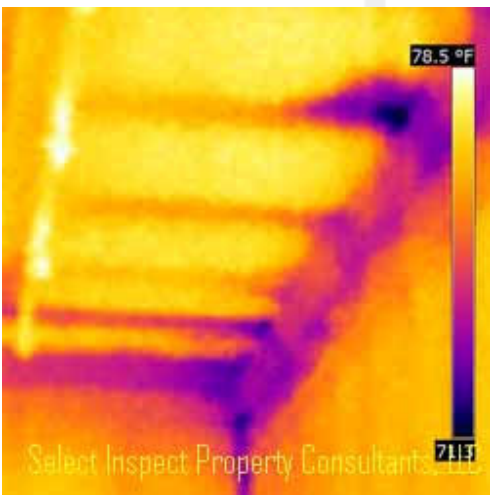
↑ example deficient insulation at upstairs bedroom south



↑ Thermal imaging from square at right



↑ Thermal imaging implies energy loss at family room



↑ Thermal imaging from square at right

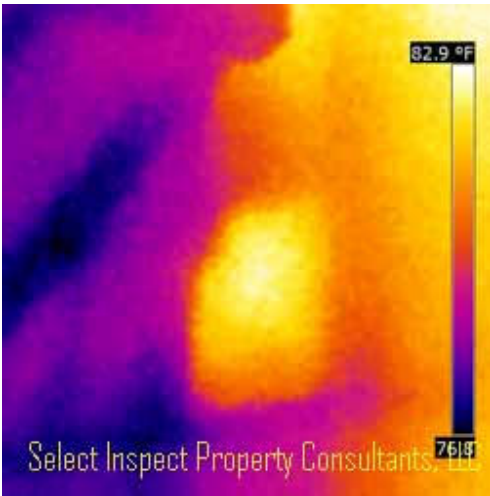


↑ Thermal imaging implies energy loss at master bedroom perimeter & furr down; example at north side of the room



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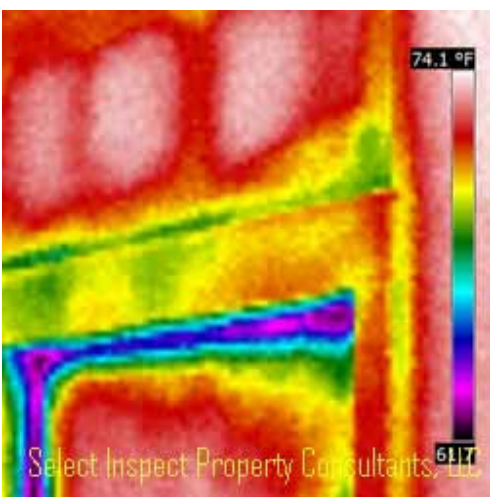
↑ Thermal imaging from image below- left



↑ Thermal imaging from image below- right



↑



↑ Thermal imaging from square at right

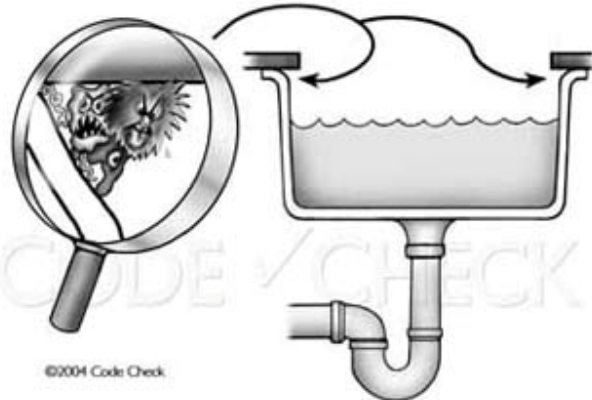


↑ Thermal imaging shows energy loss & or moisture at master bathroom window area



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Concealed Fouling Areas

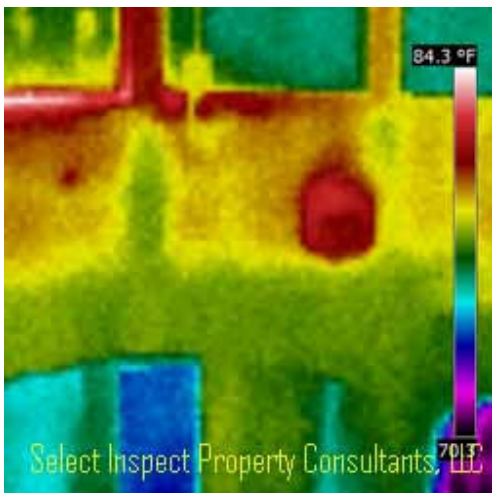


↑ fouling area at kitchen sink is prone to bacterial contamination



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↑ northwest gable insert was inadequately secured; openings exist



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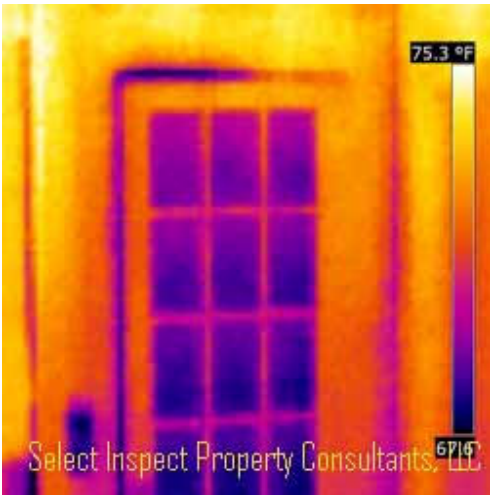
↑ Thermal imaging from square at right



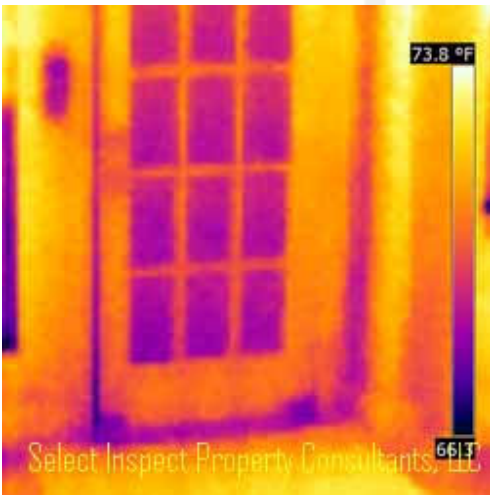
Select Inspect Property Consultants, LLC

↑ Thermal imaging was inconclusive regarding moisture intrusion at the cracks & peeling paint below the formal living area window

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↑ Thermal imaging from image below right- dashed



↑ Thermal imaging from square at left



↑ Thermal imaging implies energy loss at receptacles & switches adjacent exterior walls & at exterior & attic doors; example at breakfast nook patio doorway

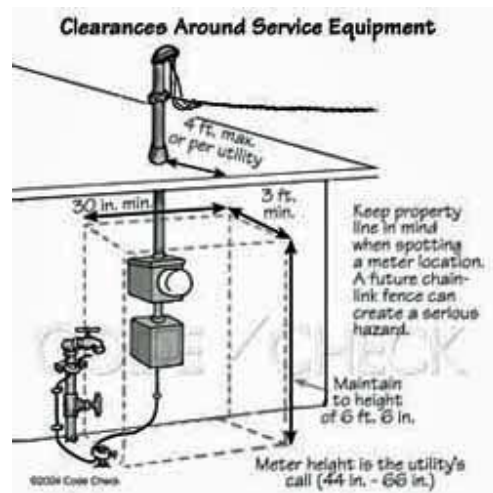


↑ Alarm holes at the lower portion of the window may allow moisture intrusion; caulk, maintain, and monitor

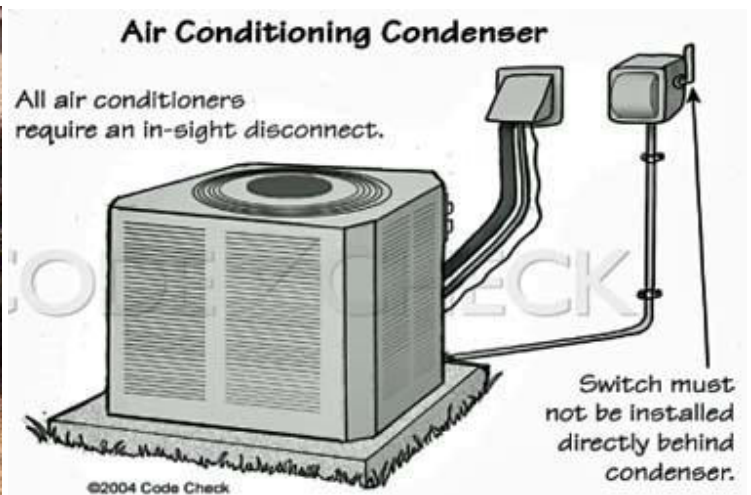
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Report Identification 123 street; Southlake, TX



↑ Electrical service equipment requires minimum 36" clearance for access



↑ incorrect location of air conditioning condenser(s) service disconnect; inadequate clearance of electrical panel for service personnel & Condensers were too low to grade- should be minimum 4" above soil

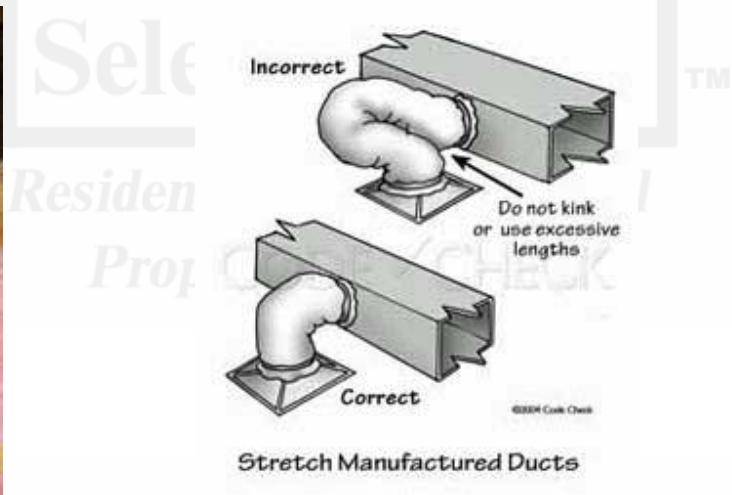


↑ recessed lights require minimum 3" clearance from insulation-per manufacturer label, to avoid overheating & fire hazard conditions; example one of many (all seen were amiss)

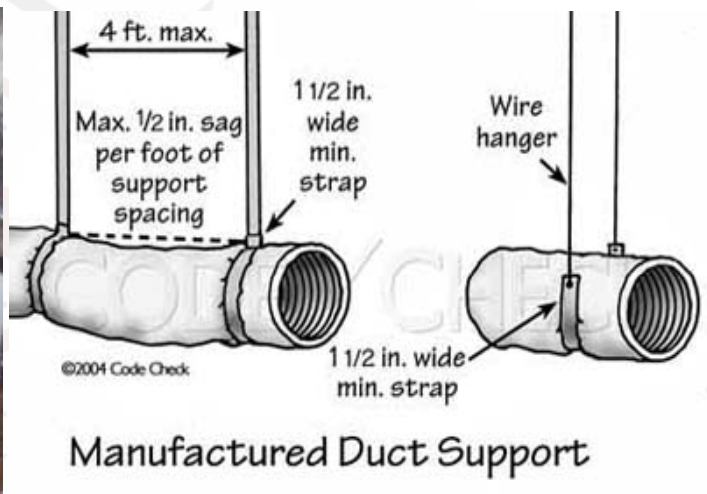


↑ auxiliary condensate drain appeared to have retracted into the eave; potential moisture damage condition

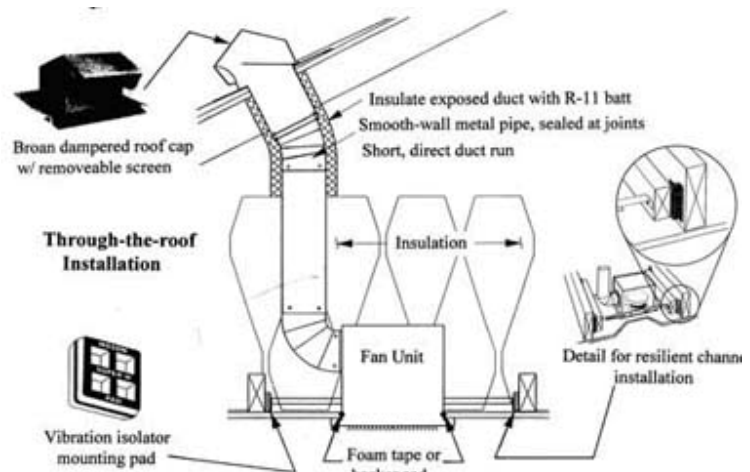
↑ close view of image at left



↑ walk-in attic southwest- crimped air ducting; example & deficient vapor barrier/insulation due to improper support



↑ inadequate support of air ducting; example location of multiple deficiencies discovered in all attic areas



Exhaust fan(s) improperly terminate in the attic, rather than exterior



↑ leaks discovered at both pool pumps & at the chlorinator; main (filter) pump would not hold prime