

Select Inspect

Property Consultants LLC

Prepared exclusively for:
Client



New Home Inspection Report **1492 Columbus; Freedom, TX**

*The greatest compliment I can receive is a referral from you,
to a friend, family member, or coworker.*

Thank you for choosing Select Inspect.



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March 11, 2008

The home is new and will likely have a builder warranty. When available, this "new home warranty" may cover some of the repairs you may be concerned with. Please contact Select Inspect a month or two before March 11, 2008 for its one year builder warranty inspection.

You should realize that many cities have slightly different codes and / or variations of codes for building new homes. This inspection does not determine if the home meets code for this specific city; for that information you should contact the local code authorities for their records of inspections performed by city building officials at this property. Some of the comments in this report may not be required or may be somewhat different by code in this city, though the Texas Real Estate Commission still requires inspectors to note those items or conditions in need of repair (these items / conditions are not typically significant enough to cause concern).

Building code is a minimum standard, and not a "perfect" methodology or standard. This is not a "code" inspection, as many cities adopt variations, amendments, and modifications of generally accepted building-code guidelines. If you have specific interest or concern regarding the home meeting "code", you should try to obtain or verify documentation of city / code inspection reports if available from your builder or local building officials.

Property faces: **North** Occupied / obstructions present Vacant Vacant (with stored items / obstructions)

Weather: Temp: 30 - 40 Degrees approx. Dry Light Rain Rain Recent Rain Stormy Ice / Snow

Visibility: Clear Cloudy Overcast Moderate Winds High Winds Evening / Dark outside

Foundation Types at property: Slab on Grade Pier & Beam Screeded Floating

Roof: Composition Wood Shingle / Shake Tile Roll-Out Slate
 Artificial slate Built-Up / Asphalt / Bitumen Spanish Tile Metal / Copper Other

Roof Inspected from: Walking Roof Surfaces Ground with Binoculars Ladder at Eaves
 Most accessible Some areas Inaccessible Most Roof areas Inaccessible
 Too Steep / High Wet / Rain / Slippery Deemed unsafe to walk - injury/damage risk

Fireplace: Masonry: Prefab.

Chase: Masonry Frame & Siding Frame & Brick/Stone Not present

Flue: Masonry Metal Direct Vent Undetermined

Cap / Crown: Mortar Metal Inaccessible / undetermined

Inspected at: Ground / in home Roof (limited) Attic Attic Limited

IMPORTANT: A contract (Home Inspection Agreement) was provided and signed by you or your representative at the time of inspection. The contract contains important information related to the scope of this inspection, limitations, and other comments. If you have not already, please read the contract in its entirety, and contact us if you have any questions; 214-770-6954. Your business is important to me, and I appreciate your choosing Select Inspect.

The home is new and will likely have a builder warranty. When available, this "new home warranty" may cover some of the repairs you may be concerned with. You should realize that many cities have slightly different codes and / or variations of codes for building new homes. This inspection does not determine if the home meets code for this specific city; for that information you should contact the local code authorities for their records of inspections performed by city building officials at this property. Some of the comments in this report may not be required or may be somewhat different by code in this city, though the Texas Real Estate Commission still requires inspectors to note those items or conditions in need of repair (these items / conditions are not typically significant enough to cause concern).

If possible, you should obtain all available builder documents and warranties that may allow you to arrange repairs through the builder.

I. STRUCTURE

Foundation / Structure

- Structural repair needs were not evident at the time of inspection. Cosmetic repair may be available through your builder's warranty. Typical settlement was indicated by the following:
- Mortar cracks noted
- Foundation corner crack(s) noted

- Hairline drywall crack(s) noted at game room, north upstairs hall, northern bedroom, front bedroom, media room, east bedroom. Condition is from common settling of the roof structure and did not appear to be related to foundation movement.
- Drywall nails have popped through the painted interior surfaces at upstairs west hall. This is common, and is related to normal settling and shrinkage movements. Cosmetic repair needs would be subjective.
- The corner of the foundation is cracked at the west. This is common, even on young homes, and is typically not structurally significant. The joint of the cracked corner and the adjacent foundation is obstructed and conducive to termite entry.
- Regularly monitor the property and its components and arrange for repair if / when needed. Repairs should be made by qualified specialists whenever possible.
- Refer to your "Guide to Your Home Inspection" through the link in your email with this report, for information regarding foundation maintenance and monitoring.

Site Drainage/Grading

- Repair needs were not discovered at the time of inspection

Roofing

- Counter flashing was amiss / deficient at the left side of the front porch.
- The dead valley at the right rear of the garage and above the patio door have marginal / poor slope, and may not drain properly. This is conducive to debris accumulation and potential moisture intrusion. (see one or more related photos)
"Dead valley" description: A converging valley feature with a vertical wall joined by flashing at a convergence of one or more roof angles/valleys; this feature is commonly associated with a higher risk for leakage, due to water being directed toward rather than away from a wall, roof, and or flashing convergence. The roof, attic, and interior areas surrounding and below this feature should be inspected during different weather periods for leakage. These valleys will also create a higher risk of ice damming and potential moisture intrusion behind the shingles in winter.
- NOTE: The roof is young or new; that does not mean it is definitely weatherproof. Monitor roof penetrations such as skylights, vertical walls, plumbing vents and flues, chimneys, or flashing details especially during heavy rain or ice & snow. All new and older roof systems should be inspected during a variety of wet weather conditions for leaks, blown-off or damaged shingles. It is common for all roof systems to require periodic repair. Roof performance during weather different than that on the day of inspection is undetermined.

Guttering/Roof Drainage:

- Repair needs were not discovered at the time of inspection

Attic

Access:

- Ladder hardware (nuts, screws, etc) is loosely secured or missing at stair components. The unit is unsteady and repair would be prudent to reduce risk of failure and injury.
- Handle brackets were bent- operable.
- Top step is high compared to the other steps. Technically all steps should not vary in height more than 3/8 inch.

Structure:

- Repair needs were not discovered at the time of inspection

Insulation:

- Repair needs were not discovered at the time of inspection

Ventilation:

- The attic of the front porch appears unvented or poorly ventilated. Technically, any enclosed attic space should be vented. Inadequate ventilation can result in humidity, condensation, and fungal issues. Recommend professional correction to properly vent this space. IRC 806
- The small roof/attic above window(s) at the master bathroom appear(s) poorly or un-ventilated. Ideally any enclosed attic space would be vented; Lack of venting can result in humidity, condensation, and fungal issues. Recommend installing vents at the side or lower eaves depending on style of roof/eave. IRC 806 (see one or more related photos)

- The attic of the garage, entry arch, and above the breakfast nook appears poorly ventilated. Ideally any enclosed attic space would be vented; This can result in humidity, condensation, and fungal issues. Recommend installing one or two eave vents at the lowest eave, and a vent at the upper eave to allow this area to vent. IRC 806

Interior (walls, ceilings, floors)

Wall:

- Moisture intrusion was discovered adjacent the chimney at the family room/fireplace. Chimney flashing appeared satisfactory at the roof and the builder reported that drywall/interior component repair had been arranged. We do not perform mold testing, and did not take fungus or air samples from the home. If you are concerned about health related issues, we recommend that you consult an indoor air quality firm for evaluation and options for cleaning. Researching and evaluating various firms and their methods for remediation would be prudent, if you plan to pursue those measures.
- Cosmetic details were not complete at the time of inspection; such as cabinetry, paint, grout, caulking details.

Cabinetry/Countertop:

- Repair needs were not discovered at the time of inspection

Ceiling:

- Stains that appeared to possibly be moisture related were discovered at the study.
- Cosmetic details were not complete at the time of inspection; including paint and caulking touch-ups. Structural issues were not discovered.

Floor:

- Repair needs were not discovered at the time of inspection

Exterior Walls & Structure

- Opening exists at the upper right of the garage and at the small roof feature above the master bathroom window . Correction / improvement would be prudent.

Doors

Interior:

Exterior:

Garage / Overhead:

- Repair needs were not discovered at the time of inspection

Windows

- Repair needs were not discovered at the time of inspection

Fireplace & Chimney

Hearth / fire box:

Damper:

- Repair needs were not discovered at the time of inspection

Flue:

- The attic and chimney / chase portions of the flue were inaccessible; conditions within remain undetermined.

Chimney / Chase:

- The chase was inspected from exterior / roof areas only.

Cap / Crown:

- Repair needs were not discovered at the time of inspection

Fireplace Gas:

- Repair needs were not discovered at the time of inspection; operable at the time of inspection.

Porch, Deck, Carport, Balcony

- Structurally satisfactory at the time of inspection.

II. ELECTRICAL

Electrical Service Electrical Panel(s)

- 200 amp; buried service. Repair needs were not discovered at the time of inspection.

Electrical Branch Circuits (outlets, lights, switches, fans, etc)

GFCI:

Outlets:

Lights:

- System(s) serviceable / operable with normal controls at the time of inspection.

Switches:

- Switches had undetermined application at the master bedroom. Circuit tracing is beyond the scope of this inspection. Refer to the seller for information regarding questionable switches, or have an electrician examine and identify their purpose.

Smoke detection device:

- It is recommended to test batteries monthly, change batteries annually, and to change the detector itself at least once every ten years.

Other Electrical:

- Repair needs were not discovered at the time of inspection

III. HEAT & AIR CONDITIONING

Heating Equipment

- The units were operable with normal controls at the time of inspection.

Cooling Equipment

- Evaporator pans have debris (insulation) that may obstruct the auxiliary condensate line(s) in the event the primary condensate line does not function properly. The pan debris should be removed.
- NOT INSPECTED: The air-conditioner systems were not operated, as the outdoor temperature was below 60 degrees within the past 24 hours, and or at the time of inspection. Operation of air-conditioner units in that state/time period can damage components due to refrigerant not readily changing from liquid to gaseous state, because of low temperature. Returning to the property for inspection during warmer weather is not included in the price of the inspection. Operation and related conditions remain undetermined.
- It is recommended to have the evaporator(s) serviced/cleaned at least every 2 years. The evaporator interior(s) was inaccessible; this is common as most do not have readily accessible panels. This limits the inspection of many HVAC components. Repair needs were not discovered at the time of inspection. The system is new/young; monitor this item periodically and repair if / when needed.

Ducting

- Repair needs were not discovered at the time of inspection

IV. PLUMBING

Plumbing; Supply / Fixtures

Supply:

- ADVISORY: Some fixtures may not be labeled "hot & cold". Texas Real Estate Commission requires finding "in need of repair" any water controls at sinks, bathtubs, showers, bidets and similar fixtures that are not permanently marked as "hot" and "cold". Markings are intended to reduce risk of scalding. Select Inspect departs from this provision of the Texas Real Estate Commission standards. As long as hot is on the left and cold is on the right, from the user's perspective, repair needs are very subjective and not urgent in the opinion of the inspector. Concerns were not discovered at the time of inspection, though if you sell the home in the future, another inspector may be required to note this "in need of repair".
- Repair needs were not discovered at the time of inspection

Sink:

- Cosmetic scratch was noted at the kitchen faucet. Otherwise operable

Toilet:**Bathtub:**

- Repair needs were not discovered at the time of inspection

Shower:

- Grout touch-up is needed at the downstairs shower.

Exterior faucet:**Utility room / Other:**

- Repair needs were not discovered at the time of inspection

Drain, Waste, Vent

- Accessible components: Repair needs were not discovered at the time of inspection.

Water Heater(s)

- **ADVISORY:** It is recommended to have the temperature-pressure-relief tested annually, and have the temperature-pressure-relief removed and visually inspected every three years or sooner. Most manufacturers also recommend draining / flushing the water heater at least once annually. The unit was producing hot water and appeared generally operable at the time of inspection. Recommend having the unit(s) fully examined and serviced by a plumber at least every 2-3 years for routine maintenance. Average life of a water heater is 10-12 years.

V. APPLIANCE & OTHER**Appliances**

- **dishwasher:** The dishwasher was not properly secured and or leveled.
- **disposal:** The clamp to secure the electrical wires where they enter the disposal unit was amiss / deficient. This is inexpensive and easy to do. Repair is recommended.
- **doorbell:** operable
- **dryer vent:** Repair needs were not discovered at the time of inspection
- **exhaust fan(s):** Repair needs were not discovered at the time of inspection
- **garage door operator:** operable
- **kitchen vent:** operable
- **microwave:** operable
- **oven:** operable
- **range / stove:** operable – gas shut-off valve located below in cabinet

Irrigation (sprinkler system)

- Repair needs were not discovered at the time of inspection
- Zone locations were noted at:
 1. front foundation
 2. front right
 3. right
 4. front left
 5. front left
 6. rear
 7. left
 8. foundation perimeter (buried pipe)
- Refer to your "Guide to Your Home Inspection" for information related to irrigation maintenance and watering tips for your foundation.

Other

- Recommend Consider periodic wood destroying insect inspection- every 2-3 years for the first 6 years.
- Pretreatment for termites is suspected at this property. The home is new / young; concerns were not discovered. Most cities in this region require termite treatment before the home is built. You should ask the seller or builder if this was done, and if so, are there any warranties or documentation available to you for future reference.

Photo images and or other important information is continued on the following pages



Limitations & Scope of Inspection Statement

Your contract contains important information; if you have not yet read the contract in its entirety, please do so.

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and/or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and/or reliance upon information in this report, the client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and/or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein. The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot eliminate all risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain any available municipal inspection reports, and builder warranty information.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any previous inspection or engineering reports, municipal inspection departments, lenders, insurers, and appraisers.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary reader of this information should hire a licensed inspector to perform an inspection to meet your specific needs and to obtain current information concerning this property.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warranties are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare components and conditions to "code" or determine if components and conditions are compliant to current code requirements, as there are variations and amendments to code in basically every Texas city. We cannot possibly keep up with different regulations in every municipality. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire safety, electrical, HVAC, moisture intrusion / leakage, fungal, and structural failure concerns be examined by a licensed or occupationally certified specialist in the respective field. Repairs should then be made without delay.

Select Inspect is committed to providing the best possible services to the client, in an efficient, professional manner, and to report discoveries to the client in an understandable format. Select Inspect inspectors will represent Select Inspect in a professional and courteous manner, and we will be respectful to our clients, to all parties involved, and to the properties at which our business is performed. The client, their personal information, this report, and information about the home are not offered or distributed to other persons or affiliations, unless specifically requested by the client.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence or conditions conducive to mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment, but it does not mean the inspector saw and reported all mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

End of Written Report

Thank you for choosing Select Inspect. Contact our office with any questions.

Sincerely,



Bruce W. Carr

TREC # 5281
ASHI Member # 211804
NACHI Member
SPCB CA # 43624



Digital Photographs- Supplementary to the Inspection

Photographs within this document are of random components and or conditions that may have been noted as "in need of repair". These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All "repair / correction recommended" comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report. This document is not to be used without the other pages of the home inspection report. This is only a complimentary addition to the inspection report, and should be viewed as such.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member, associate, or friend. When you meet someone buying a property in North Texas, please remember to mention Select Inspect. Please call our office anytime if we may be of further service. 214-770-6954



↑ corner crack at north - Repair needs were not discovered at the time of inspection



↑ amiss / deficient counter flashing at porch roof - moisture intrusion concern



↑ correct counter flashing at opposite side of front porch roof



↑ openings and converging valley example at right garage



↑ close view of prior image- openings and low slope at small valley- upper right garage



↑ low slope at small valley above patio door



↑ unvented entry ceiling/attic



↑ unvented porch

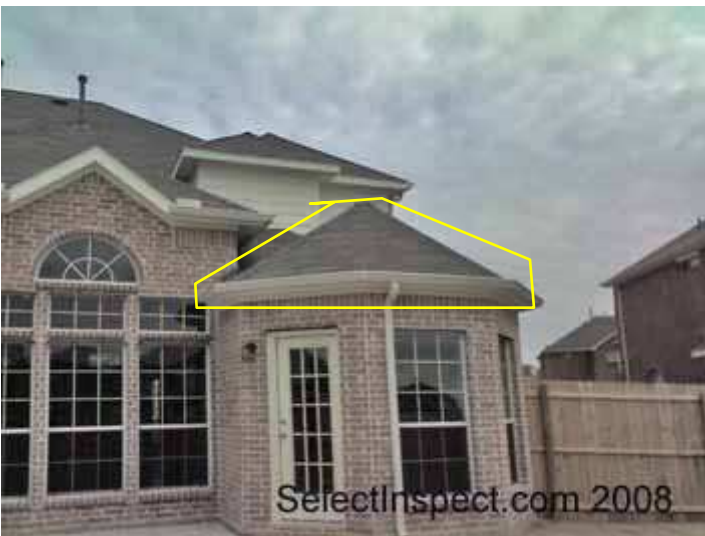




↑ unvented enclosed attic at master bathroom window



↑ unvented garage attic



↑ only eave vents/ marginal venting- at breakfast nook enclosed attic



↑ moisture intrusion evidence at family room/fireplace



↑ opening adjacent master bathroom window



↑ close view of prior image- moisture and pest intrusion concern



↑ missing cover at fireplace air intake vent



↑ insulation debris in auxiliary pan- air-conditioner



↑ auxiliary filter location- unit #2



↑ auxiliary filter location- unit #1



↑ missing electrical clamp at disposal base

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