

# Select Inspect

Property Consultants, LLC

## New Construction Phase Inspection

Prepared exclusively for:  
**Client**



at: **54321 New Street; The Colony, TX**

*The greatest compliment I can receive is a referral from you,  
to a friend, family member, or coworker.*

*Thank you for choosing Select Inspect.*



*Sincerely,  
Bruce W. Carr*

214-770-6954

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October 29<sup>th</sup>, 2008

This inspection was performed at the **predrywall** stage. Portions and components of the home, not specifically noted in this document were excluded from the inspection. Changes in conditions are common throughout the building process, and some modifications should be expected.

If changes are made to the structure that deviate from the original plans, you should obtain verification from the builder's engineer and or the local code inspection department for approval of modifications.

Building code is a minimum standard, and not a "perfect" methodology or standard. This is not a "code" inspection, as many cities adopt variations, amendments, and modifications of generally accepted building-code guidelines. If you have specific interest or concern regarding the home meeting "code", you should try to obtain or verify documentation of city / code inspection reports if available from your builder or local building officials.

Property faces: **East**

Weather: Temp: 70 - 75 Degrees approx.  Dry  Light Rain  Rain  Recent Rain  Stormy  Ice / Snow

Visibility:  Clear  Cloudy  Overcast  Moderate Winds  High Winds  Evening / Dark outside

Foundation Types at property:  Slab on Grade  Pier & Beam  Screeded  Floating

Roof:  Composition  Wood Shingle / Shake  Tile  Roll-Out  Slate  
 Artificial slate  Built-Up / Asphalt / Bitumen  Spanish Tile  Metal / Copper  Other

Roof Inspected from:  Walking Roof Surfaces  Ground with Binoculars  Ladder at Eaves

Most accessible  Some areas Inaccessible  Most Roof areas Inaccessible  
 Too Steep / High  Wet / Rain / Slippery  Deemed unsafe to walk - injury/damage risk

Fireplace:  Masonry:  Prefab.

Chase:  Masonry  Frame & Siding  Frame & Brick/Stone  Not present

Flue:  Masonry  Metal  Direct Vent  Undetermined

Cap / Crown:  Mortar  Metal  Inaccessible / undetermined

Inspected at:  Ground / in home  Roof (limited)  Attic  Attic Limited

IMPORTANT: A contract (Home Inspection Agreement) was provided and signed by you or your representative at a prior property inspection. Acceptance of and reliance upon any/all information in this report acknowledges your agreement to the same conditions as included in the previously signed inspection agreement. The contract contains important information related to the scope of this inspection, limitations, and other comments. If you have not already, please read the contract in its entirety, and contact us if you have any questions; 214-770-6954.

Your business is important to me, and I appreciate your choosing Select Inspect.

## I. STRUCTURE

### Foundation

- Foundation issues were not discovered during this visit.

### Structure

- Anchor bolts at master bedroom and family room central west have nuts that were not tightened enough/properly.
- Anchor bolts at guest bedroom, master closet, bedroom 2, bedroom 3, family room northwest have been over-tightened; compressing and cracking the sills. This deviates from manufacturer fastening requirements.
- Anchor bolts at family room southwest have missing or otherwise deficient washers (between the nut and sill plate).
- Anchor bolt holes at guest bedroom, master closet, and hall bathroom (behind the shower pan) have been over-drilled (a hole greater than 5/8") which creates reduced lateral resistance. The bolt manufacturer offers bearing plates (BP/LBP/BPS/LBPS) to correct the condition and distribute the load more appropriately.
- Anchor bolts at the rotunda were misplaced (or the sill was misplaced). The bolts were not in a position to secure the sill plate(s) to the foundation. The sills should be appropriately secured to the foundation, and the protruding bolts cut off without damaging adjacent

construction materials. The building's architect or engineer should examine the condition and prescribe a repair.

- Anchor bolts at master bedroom and dining room were not present within 12" of a corner as required.
- *In summary, Deficient anchor bolt connections were discovered at: guest bedroom, master bedroom, master closet, garage rotunda, dining room, hall bathroom and family room.*

### Site Drainage/Grading

- Repair needs were not discovered at the time of inspection

### Roofing

- Repair needs were not discovered at the time of inspection; the roof still has some toe-boards for use during future construction of upper walls. The roof will be more thoroughly inspected at the last inspection

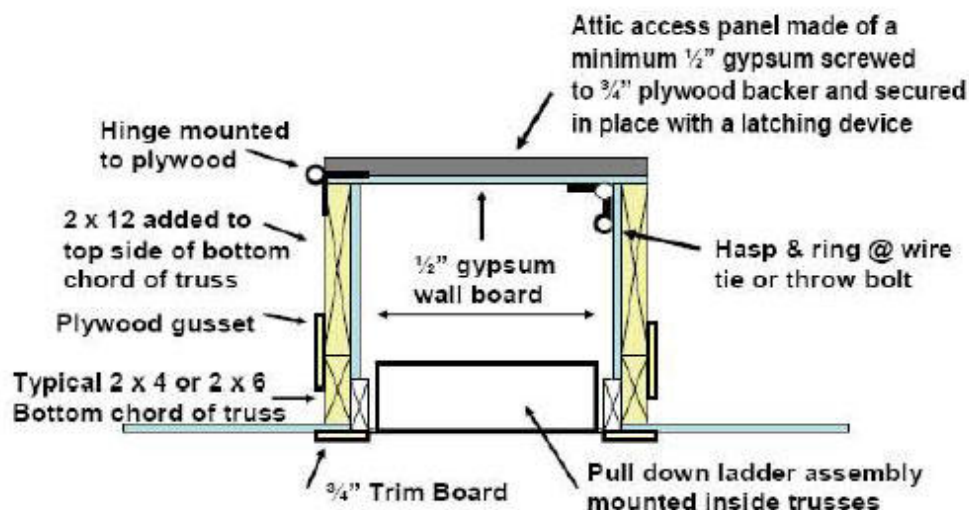
### Attic

#### Access:

- If a common access door will be installed; it will breach the firewall provisions for attached garages. The ladder door/cover at the garage attic access would then be deficient and not meet IRC R309.2 separation required for fire-spread at attached garages. The partition wall between a modern home and an adjoining garage typically is covered by 5/8 inch drywall, to slow the spread of a garage fire to the dwelling. If the garage attic and house attic are not also divided by a firewall, then the garage ceiling becomes part of the fire separation and must also be finished with 5/8 inch drywall or equivalent fire-rated material. The access cover on a folding ladder is a sheet of 1/4 inch plywood. When installed in a garage ceiling, this thin wood membrane replaces a portion of the fire-resistant drywall board, thereby breaching the required fire separation.

Option 1) Minimum 1 hour fire-rated material should be installed in the attic, creating a solid wall, including 4' of material at the rafters to adequately separate the garage attic.

Option 2) Minimum 1 hour fire-rated material should be installed on the garage side of the enclosure. The door shall be positioned to self-close (less than 90 degrees opening). Edges around the stairway gypsum covering shall be tight to the surrounding ceiling.



**Pull down garage attic ladder installation requirements to maintain fire resistive separation**

#### Structure:

- Joist hangers/or similar steel brackets were incorrectly fastened at the southeast bathroom at two upper east locations. Hangers should be fit to the related framing; and all nail openings should be filled with appropriate fasteners. -see related photo(s)

#### Insulation:

- The installation had not been completed at the time of inspection.

**Ventilation:**

- Repair needs were not discovered at the time of inspection

**Interior (walls, ceilings, floors)****Wall:**

- Studs at the kitchen, where the refrigerator water supply is mounted, had been deflected and compromised when workers installing (moving) the upper beam cover piece for the family room collided and twisted the beam cover with the kitchen framing. Recommended additional bracing/blocking.

**Exterior Walls & Structure**

- Vapor barrier was deficient at the north side of the rotunda; lower edge.
- Foam touch-up is needed at guest bedroom windows, bedroom 2 upper left corner of the central window, master bedroom windows.

**Doors****Exterior:**

- Repair needs were not discovered at the time of inspection; temporary door will remain at the front entry until later in construction

**Windows**

- Loose tyvek tape was noted at the west master bathroom windows. Repair and proceed.
- Openings exist at the thermoply and forti-flash at the east garage.
- Forti-flash was marginally short at the lower window areas at; family room, bedroom 2, and rotunda.
- Forti-flash or similar window flashing materials should be installed so that upper (vertically) sections are at the outside (horizontally) of lower sections. The condition was not this way at multiple front (east) locations. -see related photo(s)

**Fireplace & Chimney**

- Repair needs were not discovered at the time of inspection; flue is rated for minimum 2" clearance from combustibles and building insulation; this clearance should be maintained during insulation work.

**Porch**

- Southwest post bolt fastener was poorly secured. Correct the condition and proceed.

**II. ELECTRICAL****Electrical Service**

- NOTE: Grounding electrode was not visibly confirmed; likely below soil or in the slab near the service riser. A section of reinforcing steel with grounding clamps and connectors was present and is the additional "ufer" ground. Two grounds are required; one was verified.

**Electrical Panel(s)**

- The installation of the component / system had not been completed at the time of inspection. Repair needs were not discovered at the time of inspection.

**Electrical Branch Circuits (outlets, lights, switches, fans, etc)**

- Repair needs were not discovered at the time of inspection.

**III. HEAT & AIR CONDITIONING****Heating Equipment**

- Repair needs were not discovered at the time of inspection; The installation of the component / system had not been completed at the time of inspection. System/device was not operated

**Cooling Equipment**

- Auxiliary condensate line for the south unit terminates over the bedroom 3 window; auxiliary condensate line for the north unit terminates over the study window. Repair needs were not discovered at the time of inspection. The installation of the component / system had not been completed at the time of inspection. System/device was not operated

**Ducting**

- Repair needs were not discovered at the time of inspection

**IV. PLUMBING****Plumbing****Toilet:**

- Flanges should be secured to the concrete prior to installation of the commodes.

**Other:**

- Repair needs were not discovered at the time of inspection

**Drain, Waste, Vent**

- Repair needs were not discovered at the time of inspection

**Water Heater(s)**

- The temperature-pressure-relief valve piping was deficient for this application; ¾" cpvc (hot water PVC) as found in this home is frequently used and is inappropriately accepted by city code around the USA, however, the ¾" material does not meet manufacturer requirements. T&P valve manufacturers require that the interior diameter of the drain line not be less than the interior diameter of the discharge section of the valve – a standard ¾". The ¾" CPVC tubing in use measures an average 0.715" interior diameter (technically .035" less than required). If CPVC is to be used it and all cpvc connectors must be 1" O.D. to conform to IRC P2803.6.1.
- Water heaters had not yet been installed.

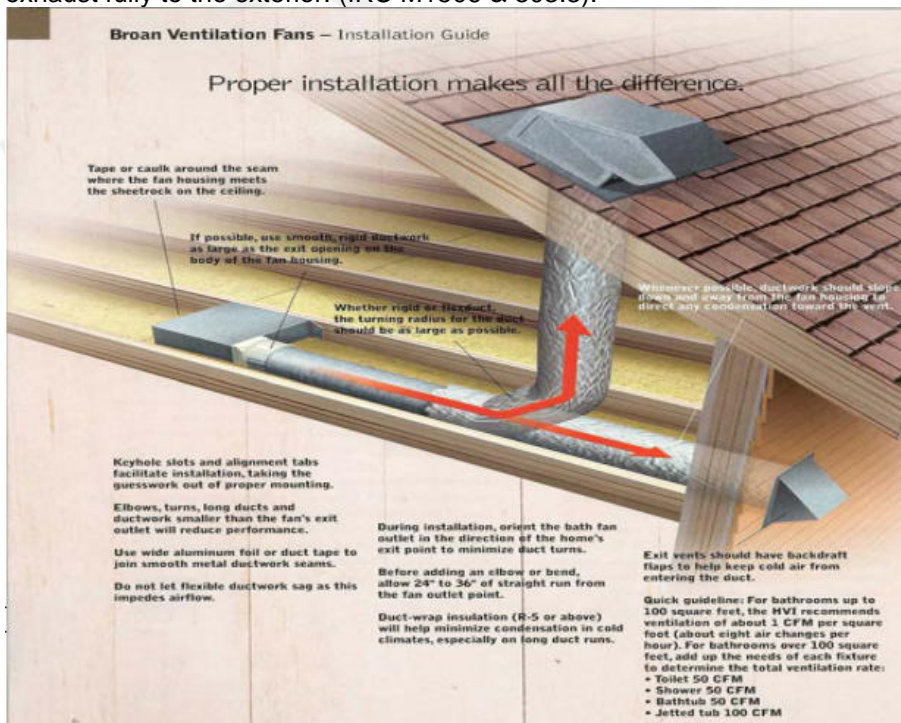
**Jetted tub**

- Repair needs were not discovered at the time of inspection; device was not operated.

## V. OTHER: appliance, irrigation, wood destroying insect, other

### Appliances

- Some or all bathroom /laundry exhaust fans appear to be intended vent terminations to the eaves. Vent termination within the attic, at passive roof vents, or at eave vents does not meet manufacturer guidelines. Current standards require venting of bathroom and utility room exhaust fully to the exterior. (IRC M1506 & 303.3).



### Irrigation (sprinkler system)

- not present at this phase

### Other

- Hollow plumbing stakes are a potential future entry point for termites. Recommend the pest control company performing the pretreat seal these hollow stakes and or treat the interiors with an appropriate foam termiticide or similar approved chemical for wood destroying insect protection.
- Evidence of wood destroying insect pretreatment was not discovered. Refer to your builder for documentation after treatment is made. Pretreat for wood destroying insects should be performed prior to laying of plastic (vapor barrier) on the pad site, before the foundation is poured.
- Treatment of the lower wood framing is typically indicated by colored (dyed termiticide) framing at the lower 18-24 inches of framing. This was not discovered. Refer to the builder for information regarding this item.

Photo images and or other important information is continued on the following pages

Select Inspect™  
Residential & Commercial  
Property Inspection

## Limitations & Scope of Inspection Statement

Your contract contains important information; if you have not yet read the contract in its entirety, please do so.

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and or reliance upon information in this report, the client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein. The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot eliminate all risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain any available municipal inspection reports, and builder warranty information.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any previous inspection or engineering reports, municipal inspection departments, lenders, insurers, and appraisers.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary reader of this information should hire a licensed inspector to perform an inspection to meet your specific needs and to obtain current information concerning this property.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warrantees are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare components and conditions to "code" or determine if components and conditions are compliant to current code requirements, as there are variations and amendments to code in basically every Texas city. We cannot possibly keep up with different regulations in every municipality. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire safety, electrical, HVAC, moisture intrusion / leakage, fungal, and structural failure concerns be examined by a licensed or occupationally certified specialist in the respective field. Repairs should then be made without delay.

Select Inspect is committed to providing the best possible services to the client, in an efficient, professional manner, and to report discoveries to the client in an understandable format. Select Inspect inspectors will represent Select Inspect in a professional and courteous manner, and we will be respectful to our clients, to all parties involved, and to the properties at which our business is performed. The client, their personal information, this report, and information about the home are not offered or distributed to other persons or affiliations, unless specifically requested by the client.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence or conditions conducive to mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment, but it does not mean the inspector saw and reported all mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

## **End of Written Report**

Thank you for choosing Select Inspect. Contact our office with any questions.

### Photographs- Supplementary to the Inspection

Photographs within this document are of random components and or conditions that may have been noted as "deficient". These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All "repair / correction recommended" comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report. This document is not to be used without the other pages of the home inspection report. This is only a complimentary addition to the inspection report, and should be viewed as such.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member or friend. When you meet someone buying a home, please remember to mention Select Inspect. Please call our office anytime if we may be of further service.



↑ deficient piping size at water heater temperature-pressure-relief lines



↑ unsecured bolt nut at southwest porch column/post



↑ excessive drill hole at anchor; example



↑ over tightened anchor; example



↑ appropriate anchor installation; example



↑ misplaced anchors and deficient vapor barrier at rotunda



↑ deficient fasteners at southeast bathroom joist hangers



↑ compromised vertical framing at kitchen



↑ marginal flashing at window



↑ marginal flashing at windows



↑ improper lapping of window flashing; example



↑ close view of image above



↑ correct lapping of flashing; example



↑ damaged flashing and opening at thermoply sheathing; garage



↑ marginal flashing at bedroom 2 south window