

Select Inspect

Property Consultants, LLC

New Home Final Inspection

Prepared exclusively for:

Client



at: **54321 New Street; Colony, TX 75034**

*The greatest compliment I can receive is a referral from you,
to a friend, family member, or coworker.*

Thank you for choosing Select Inspect.

Sincerely,

Bruce W. Carr

214-770-6954



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Highlighted sections contain one or more conditions noted as repair recommended & or deficient by the standards of ASHI, commonly accepted building standards, local / national code authorities, and/or in the professional opinion of your Inspector. Refer to the body of the report for details of discovered components / conditions.

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Preface

You should realize that many cities have slightly different codes and / or variations of codes for building new homes. This inspection does not determine if the home meets code for this specific city; for that information you should contact the local code authorities for their records of inspections performed by city building officials at this property. Some of the comments in this report may not be required or may be somewhat different by code in this city, though the Texas Real Estate Commission still requires inspectors to note those items or conditions in need of repair (these items / conditions are not typically significant enough to cause concern).

Building code is a minimum standard, and not a "perfect" methodology or standard. This is not a "code" inspection, as many cities adopt variations, amendments, and modifications of generally accepted building-code guidelines. If you have specific interest or concern regarding the home meeting "code", you should try to obtain or verify documentation of city / code inspection reports if available from your builder or local building officials. Additional web-based documents or printed pages were delivered/linked with this report. Read them very carefully. This report is not complete without the attachments.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence of mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment but it does not mean the inspector saw and reported all fungus/mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

This is not a "code inspection", although our standards and procedures are based primarily on the IRC, UBC, NEC, UPC, etc. Many comments will ,however, cite specific code references in order to support the inspector's findings and the inspector's opinion regarding some (not all) deficiencies.

All deficient drainage conditions should be professionally repaired, and the home frequently monitored for movement; if movement is observed or if you are concerned at any time about the foundation or structural integrity of the home, consult an engineer. This home most likely will cost you more than your vehicle(s); assuming you regularly have your vehicle checked and professionally serviced, you should plan to provide similar regular maintenance and checkups on your home/property as well. Routine maintenance of structural, mechanical, and other components in or affecting the integrity and or performance of the home, will assuredly increase the service life of your property and its components.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire, safety, electrical, HVAC, moisture intrusion / leakage, carbon monoxide, natural and or propane gas, fungal, and structural concerns be comprehensively examined by a licensed or occupationally certified specialist in the respective field. Complete and appropriate permanent repairs should then be made without delay.

This report was prepared for the client/purchaser of new property under a compilation of guidelines that Select Inspect feels best reflects a useful format and process of inspection regarding new construction. Our inspection for new construction is based upon the Standards of Practice of the American Society of Home Inspectors & Texas Real Estate Commission, local, regional, & nationally accepted building practices, and common building code references (past & current). This is not the Texas Real Estate Commission promulgated report form, which may contain additional sections & subsections. The TREC form is designed primarily for existing property and does not in our opinion realistically address common issues discovered in new construction. If you (the client) would like this information on the Texas Real Estate Commission promulgated report form; Select Inspect will be happy to provide that to you; with at least 2 days notice.

The home is young and should be under a full, prorated, or partial builder warranty. When available, this "new home warranty" may cover some of the repairs you may be concerned with. If possible, you should obtain all related builder documents and investigate to see if warranties are in place and if repairs can be arranged through the builder. TRCC performance Standards can be found at

[http://info.sos.state.tx.us/pls/pub/readtac\\$ext.ViewTAC?tac_view=4&ti=10&pt=7&ch=304](http://info.sos.state.tx.us/pls/pub/readtac$ext.ViewTAC?tac_view=4&ti=10&pt=7&ch=304)

IMPORTANT: Brinks Home Security has performed a free inspection of your prospective home for an existing security/alarm system. By agreeing to have Brinks inspect this system (arranged when you or your representative scheduled the inspection with Select Inspect), you should understand that a Brinks representative will be calling you at a later time/date at the number you provided. This call generally is to determine if you were satisfied with the service of the Brinks personnel, and to tell you of a "special offer" available if you choose to have Brinks monitor the security/alarm system in your prospective home.

Site Conditions

Property faces: **East** Occupied / obstructions present Vacant Vacant (with stored items / obstructions)
Weather: Temp: 50 - 60 Degrees approx. Dry Light Rain Rain Recent Rain Stormy Ice / Snow
Visibility: Clear Clouds Overcast Moderate Winds High Winds Evening / Dark outside
Foundation Types at property: Slab on Grade Pier & Beam Screeded Floating
Roof: Composition Spanish Tile Metal / Copper Other
Roof Inspected from: Walking Roof Surfaces Ground with Binoculars Ladder at Eaves
 Most accessible Some areas Inaccessible Most Roof areas Inaccessible
 Too Steep / High Wet / Rain / Slippery Deemed unsafe to walk - injury/damage risk
Fireplace: Masonry: Prefabricated Not present
Chase: Masonry Frame & Siding Frame & Brick/Stone Frame & Stucco veneer Not present
Flue: Masonry Metal Direct Vent Undetermined
Cap / Crown: Mortar Metal Inaccessible / undetermined
Inspected at: Ground / in home Roof (limited) Attic Attic Limited

February 6, 2009

The home is new and will likely have a builder warranty. When available, this "new home warranty" may cover some of the repairs you may be concerned with. You should realize that many cities have slightly different codes and / or variations of codes for building new homes. This inspection does not determine if the home meets code for this specific city; for that information you should contact the local code authorities for their records of inspections performed by city building officials at this property. Some of the comments in this report may not be required or may be somewhat different by code in this city, though the Texas Real Estate Commission still requires inspectors to note those items or conditions in need of repair (these items / conditions are not typically significant enough to cause concern). TRCC performance Standards can be found at [http://info.sos.state.tx.us/pls/pub/readtac\\$ext.ViewTAC?tac_view=4&ti=10&pt=7&ch=304](http://info.sos.state.tx.us/pls/pub/readtac$ext.ViewTAC?tac_view=4&ti=10&pt=7&ch=304)

If possible, you should obtain all available builder documents and warranties that may allow you to arrange repairs through the builder.

Please contact us a month or two before November 29, 2010 for your builder warranty inspection. 214-770-6954

I. STRUCTURE

Foundation / Structure

- Structural repair needs were not evident at the time of inspection. Cosmetic repair may be available through your builder's warranty. Settlement was indicated by the following:
- Mortar cracks noted at the brick & stone joint left of the fireplace
- Hairline drywall crack(s) exist at the four corners of the master bedroom ceiling step-down.
- Regularly monitor the property and its components and arrange for repair if / when needed. Repairs should be made by qualified specialists whenever possible.
- Refer to your "Guide to Your Home Inspection" through the link in your email with this report, for information regarding foundation maintenance and monitoring.

Site Drainage/Grading

- Repair needs were not discovered at the time of inspection. Monitor this item periodically and maintain as needed.

Guttering/Roof Drainage:

- Repair needs were not discovered at the time of inspection; Monitor this item periodically and maintain as needed.

Roofing

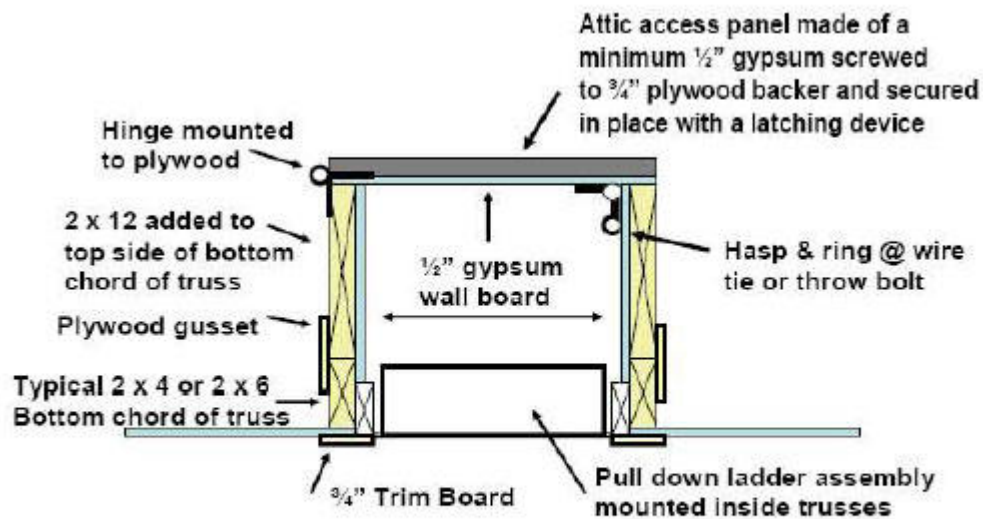
- Wind damage exists at the left of the fireplace chimney. The chimney cricket ridge has split and should be sealed.
- The dead valley right (east) of the fireplace chimney has marginal / poor slope, and may not drain properly. This is conducive to debris accumulation and potential moisture intrusion. Improving the slope is recommended.

"Dead valley" description: A converging valley feature with a vertical wall joined by flashing at a convergence of one or more roof angles/valleys; this feature is commonly associated with a higher risk for leakage, due to water being directed toward rather than away from a wall, roof, and or flashing convergence. The roof, attic, and interior areas surrounding and below this feature should be inspected during different weather periods for leakage. These valleys will also create a higher risk of ice damming and potential moisture intrusion behind the shingles in winter.

Attic

Attic Access:

- The access panel at the garage attic access was not adequate material and would not meet separation required for fire-spread at attached garages. The partition wall between a modern home and an adjoining garage typically is covered by 5/8 inch drywall, to slow the spread of a garage fire to the dwelling. If the garage attic and house attic are not also divided by a firewall, then the garage ceiling becomes part of the fire separation and must also be finished with 5/8 inch drywall or equivalent fire-rated material. The access cover is a sheet of thin plywood. When installed in a garage ceiling, this replaces a portion of the fire-resistant drywall board, thereby breaching the required fire separation. IRC R309.2
 Option 1: Minimum 1 hour fire-rated material should be installed on the garage side of the hatch/door. Edges around the covering shall be tight to the surrounding ceiling.
 Option 2: Installing 5/8" drywall to separate the garage attic and at the rafters to at least 4 feet into the then separated garage attic to isolate the garage attic from attic space(s) above or adjacent living areas; taping/bedding all seams should be made to finish the firewall.
 Option 3: Installing a fire-resistant enclosure in the attic above the garage access; An example of this is shown in the following image.



Pull down garage attic ladder installation requirements to maintain fire resistive separation

- Weather-stripping was deficient at the hall stair.

Attic Structure:

- Repair needs were not discovered at the time of inspection; Monitor this item periodically and maintain as needed.

Attic Insulation:

- Repair needs were not discovered at the time of inspection; Monitor this item periodically and maintain as needed.

Attic Ventilation:

- Abnormal conditions were not obvious at the time of inspection. Monitor and maintain.

Interior (walls, ceilings, floors)**Wall:**

- Openings exist above the cabinets in both sides of the butler pantry.
- Paint overspray exists at the top beam in the family room. Cosmetic details were not complete at the time of inspection; such as cabinetry, paint, grout, caulking details.
- Cosmetic deficiencies include: paint drippings, remaining tape between the kitchen and east hall, missing paint at the trim in the master hall.
- Recommend sealing the top tile/panel edge at the wall of the shower(s) to reduce potential for moisture intrusion and fungal accumulation at the shower substrate (between the shower and walls)

Cabinetry/Countertop:

- Various hinges were loosely secured at kitchen cabinet doors.
- Hardware was amiss at split bathroom cabinets and drawers.
- Granite countertops, if present, are not tested for presence of or levels of uranium or radiation. Related information can be found at: <http://selectinspect.com/links1.htm#radonlink>

Ceiling:**Floor:**

- Repair needs were not discovered at the time of inspection

Exterior Walls & Structure

- Openings exist at:
 - Rotunda; left eave; large enough for bird/rodent entry
 - Garage/dining room inside corner trim & flashing deficient; exposed roof deck; moisture intrusion risk.
 - Southeast bedroom at the south valley eave; daylight visible from attic; opening large enough for bird/rodent entry; also a moisture intrusion risk.
- Exterior lights at the front entry and garage should be properly sealed at the top of the fixtures to prevent moisture intrusion and related corrosion / overheating possibilities of the electrical components. NEC 410-4 & IRC E3903.9.

Doors**Interior:**

- The master closet door was not functioning as intended; this should be adjusted at the ball-spring assembly atop the door. Usually, you can simply turn the device counter clockwise to raise, and clockwise to lower the ball and spring.

Exterior:

- Viewing glass (peep-hole) or sidelight was not present at the front doorway. This is recommended to allow occupants to determine who is at the door before opening- Potential safety concern.
- Front door was not flush at the top left interior; the door may be warped or may require adjustment. Current condition may reduce energy efficiency at this location.
- Current standards recommend the door(s) from the home to an attached garage be self-closing. The door(s) at this home did not meet this recommendation

Garage / Overhead:

- Repair needs were not discovered at the time of inspection

Windows

- Repair needs were not discovered at the time of inspection

Stairways

- Not present

Fireplace & Chimney**Hearth / fire box:**

- Repair needs were not discovered at the time of inspection

Damper:

- Operable

Flue:

- The attic and chimney / chase portions of the flue were inaccessible; conditions within remain undetermined.

Chimney / Chase:

- Trim to stone joints at the chase should be sealed

Cap / Crown:

- The metal cap is slightly concave, rather than convex. This can create pooling water, and may lead to premature corrosion or failure of the metal components. Options are limited. Evidence of failure was not seen at the time of inspection. Monitor this item over time and repair as needed.

Fireplace Gas:

- Operable

Porch, Deck, Carport, Balcony

- Repair needs were not discovered at the time of inspection

II. ELECTRICAL**Electrical Service**

- Repair needs were not discovered at the time of inspection

Electrical Panel(s)

- Your new home has arc-fault-circuit protection serving bedroom circuits as currently required. NOTE: regarding existing homes & real estate transactions: the Texas Real Estate Commission requires inspectors to report as Deficient the lack of Arc-Fault protection (AFCI) at circuits serving: *family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms and areas*. Most new homes built through 2010 will not even meet this standard. If you sell the home in the future, a third-party inspector for the seller may be required to report the condition as a deficiency; although it meets the code of the period of construction.

Electrical Branch Circuits (outlets, lights, switches, fans, etc)**GFCI:**

- Receptacle(s) at the right Family room side of the kitchen bar was not GFCI protected and should be, as it is within 6 feet of the sink. You should have a licensed electrician examine the electrical components/systems and provide options for improvement, repair, or replacement of deficient components.
- Other GFCI components were correctly located and operable

Outlets:

- Excess "reveal" exists at electrical components. Receptacle(s) and related covers shall be flush to the finished wall. Ideally within 1/8". This is to control potential fire-spread, and not necessarily for cosmetic reasons. Receptacle(s) at the butler pantry (north, right) was/were not flush or appropriately secured at the finished wall.

Lights:

- Fixtures at the split bathroom were poorly secured.
- Temporary fixture was present at the kitchen/breakfast nook.

Switches:

- Repair needs were not discovered at the time of inspection

Smoke detection device:

- Some or all of the smoke detection devices were higher than the inspector's reach. Those devices were not tested.
- It is recommended to test batteries monthly, change batteries annually, and to change the detector itself at least once every ten years.

Other Electrical:

- There are electrical wires at the attic access that are not properly secured and protected from damage by traffic. Within 7 feet of the access, where run on joists, face of rafters or studding, in attics or roof spaces that are provided with access, the cable (electrical wires/conductors) shall be protected by substantial guard strips that are at least as high as the cable. When the attic(s) is not provided with access by permanent stair or ladders, protection shall be required within 6 feet of the attic entrance. E7202.2.1.
If wires are installed parallel on the side of the framing; additional protection is not required. See related image with the photo pages.
- Grounding electrode conductor for the jetted tub is unprotected at the exterior of the master bathroom. This is prone to damage by landscaping personnel and should be secured to the wall.

III. HEAT & AIR CONDITIONING**Heating Equipment**

- **Master** unit; The unit was operable with normal controls at the time of inspection.
- **Hall** unit; inoperable; builder lockout was active at the thermostat.

Cooling Equipment

- **Master** unit; The unit was operable with normal controls at the time of inspection
- It is recommended to have the evaporator(s) serviced/cleaned at least every 2 years The evaporator interior(s) was inaccessible; this is common as most do not have readily accessible panels. This limits the inspection of many HVAC components. Repair needs were not discovered at the time of inspection. The system is new/young; monitor this item periodically and repair if / when needed.
- Temperature differential between the return(s) and supply at the master HVAC unit(s) was approximately 19° at the time of inspection; 15°-22 ° is generally the acceptable range.
- **Hall** unit; inoperable; builder lockout was active at the thermostat
-
- NOTE: Humidifier(s) present, I recommend not using humidifiers, as they add moisture to the air system and can result in poor indoor air quality This is somewhat counter-productive when operated with air-conditioning, as an air-conditioner removes moisture from the air, and a humidifier will add moisture to the air; there is a potential for both systems to overwork to overcome the purpose of the other device. Devices appeared to be installed as designed and appeared operational. The inspection of humidifiers is beyond the scope of this inspection, and these comments should be taken as merely partial in nature and not comprehensive of the systems and components conditions/abilities.

Ducting, Vents, Plenums, & Filters

- Repair needs were not discovered at the time of inspection Monitor this item periodically and maintain as needed.
- Air filters often become dirty during the construction process, and may need to be replaced at or shortly after closing, and accordingly thereafter.

Thermostats *Programming features are not inspected.*

- Hall thermostat(s) had the builder lock-out feature enabled; I was unable to set the heat/cool setting at high enough/low enough range to activate the related HVAC system(s) for heating or cooling. HVAC systems related to this thermostat(s) were inoperable with normal controls at the time of inspection and some conditions remain undetermined. Refer to the builder for information regarding this item.

IV. PLUMBING

Plumbing; Supply / Fixtures

Static water pressure at the time of inspection was approx. 76 psi; 40–80 psi is an acceptable range

Supply:

Sink:

Toilet:

Bathtub:

Shower:

Exterior faucet:

- Repair needs were not discovered at the time of inspection

Utility room / Other:

- Repair needs were not discovered at the time of inspection

Drain, Waste, Vent

- Repair needs were not discovered at the time of inspection

Water Heater(s)

- The temperature-pressure-relief valve piping was deficient for this application; ¾" cpvc (hot water PVC) as found in this home is frequently used and is inappropriately accepted by city code around the USA, however, the ¾" material does not meet manufacturer requirements. T&P valve manufacturers require that the interior diameter of the drain line not be less than the interior diameter of the discharge section of the valve – a standard ¾". The ¾" CPVC tubing in use measures an average 0.715" interior diameter (technically .035" less than required). If CPVC is to be used it must be 1" O.D. to conform to IRC P2803.6.1.
- The flue is offset at the left unit. This may allow poisonous combustion products to enter the garage. This is a safety concern. Repair is recommended.

Jetted tub

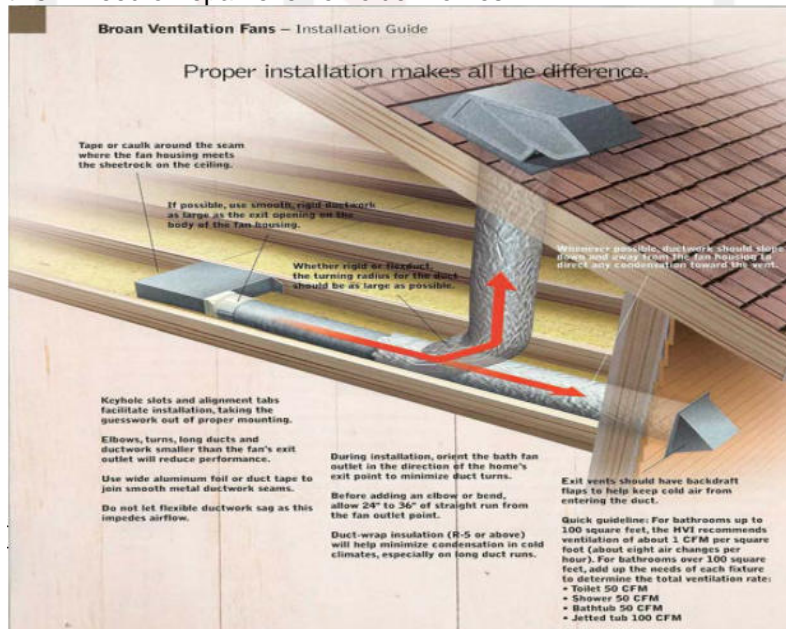
- GFCI for the jetted tub was operable at the time of inspection. Please fill and test this monthly, or at least before use. Regular testing of this safety feature is very important.



V. APPLIANCE & OTHER

Appliances

- **dishwasher**: crimp at the drain line adjacent the disposal connection was discovered. The condition may be prone to congestion and leakage.
- **disposal**: operable
- **doorbell**: operable
- **dryer vent**: The dryer vent is routed upward. Measuring the exact length is beyond the scope of this inspection. Upward venting dryer ducts are more prone to clogging than shorter horizontal vents.
- **exhaust fan(s)**: Some or all bathroom /laundry exhaust fans vent to the eaves. Vent termination within the attic, at passive roof vents, or at eave vents does not meet most manufacturer guidelines. Current standards require venting of bathroom and utility room exhaust fully to the exterior. (IRC M1506 & 303.3). Texas Real Estate Commission considers this in need of repair even on older homes.



- **garage door operator**: operable
- **kitchen vent**: operable
- **microwave**: operable
- **oven**: Temperature was approximately 325 (upper and lower ovens)° at a 350° setting. Within 25 degrees is generally acceptable.
- **range / stove**: operable
- **other appliance**: not present

Select Inspect™

Residential & Commercial
Property Inspection

Irrigation (sprinkler system)

- Heads improperly spray the home at various perimeter locations. This can be conducive to decay and or mortar erosion. Improperly adjusted sprinkler heads can contribute to foundation movement and conducive conditions. Adjusting the spray pattern, radius, and or direction is recommended.
- Some heads have been extended higher than necessary at the east and west. Recommend lowering these heads to spray under foliage; therefore offer moisture to the soils along the foundation, as intended at these locations. This is a common installation error.
- Refer to your "Guide to Your Home Inspection" for information related to irrigation maintenance and watering tips for your foundation.
- *Zone 5 wall planters*: use these sparingly as they will offer quite a lot of watering in a short time; you will likely only need 1-2 minutes at most per session to saturate the soils in the planters. At the time of inspection the setting for this zone was 8 minutes. Excessive watering at this location adjacent the home may be prone to moisture intrusion through the stone/mortar. Be very cautious with these areas during freezing weather as expanding moisture in the mortar/stone can cause spalling. Expect the wood planter boxes to decay in the future.
- Zone locations were noted at:

1. northeast	10. southeast
2. east	11. south
3. west	12. south
4. west	13. south
5. planters	14. south
6. southeast	15. west
7. south and east	16. west
8. east	17. north
9. southeast	18. north

Other

- GAS COMPONENT(s): Movement at the gas meter was not evident when tested. Leakage between the meter and interior pilots / valves was not found. This portion of the system appears satisfactory. Monitor this item periodically and repair if / when needed.
- WOOD DESTROYING INSECT: Pretreatment for termites is suspected at this property. The home is new / young; concerns were not discovered. Most cities in this region require termite treatment before the home is built. You should ask the seller or builder if this was done, and if so, are there any warranties or documentation available to you for future reference.
- Hollow plumbing support stakes are a potential future entry point for termites; these may exist at plumbing penetrations at the slab foundation of your home. Refer to the builder for information regarding this item. Recommend a wood destroying insect inspection- every 2 years for the first 5 years or when wood destroying insects are discovered (whichever comes first), then annually.

Photo images and or other important information is continued on the following pages

Limitations & Scope of Inspection Statement

Your contract contains important information; if you have not yet read the contract in its entirety, please do so.

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and or reliance upon information in this report, the client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein. The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot eliminate all risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain any available municipal inspection reports, and builder warranty information.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any previous inspection or engineering reports, municipal inspection departments, lenders, insurers, and appraisers.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary reader of this information should hire a licensed inspector to perform an inspection to meet your specific needs and to obtain current information concerning this property.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warrantees are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare components and conditions to "code" or determine if components and conditions are compliant to current code requirements, as there are variations and amendments to code in basically every Texas city. We cannot possibly keep up with different regulations in every municipality. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire safety, electrical, HVAC, moisture intrusion / leakage, fungal, and structural failure concerns be examined by a licensed or occupationally certified specialist in the respective field. Repairs should then be made without delay.

Select Inspect is committed to providing the best possible services to the client, in an efficient, professional manner, and to report discoveries to the client in an understandable format. Select Inspect inspectors will represent Select Inspect in a professional and courteous manner, and we will be respectful to our clients, to all parties involved, and to the properties at which our business is performed. The client, their personal information, this report, and information about the home are not offered or distributed to other persons or affiliations, unless specifically requested by the client.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence or conditions conducive to mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment, but it does not mean the inspector saw and reported all mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

End of Written Report

Thank you for choosing Select Inspect. Contact our office with any questions. 214-770-6954

TREC # 5281
ASHI Member # 211804
SPCB CA # 43624



*Residential & Commercial
Property Inspection*

Digital Photographs- Supplementary to the Inspection

Photographs within this document are of random components and or conditions that may have been noted as "in need of repair". These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All "repair / correction recommended" comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report. This document is not to be used without the other pages of the home inspection report. This is only a complimentary addition to the inspection report, and should be viewed as such.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member, associate, or friend. When you meet someone buying a property in North Texas, please remember to mention Select Inspect. Please call our office anytime if we may be of further service. 214-770-6954



↑ wind damaged shingles adjacent the chimney



↑ split cricket, & view from above of image at left



↑ marginal slope at the converging valley adjacent the chimney; prone to ice damming, debris accumulation, & moisture intrusion.

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↑ Seal the top tile edge at the shower walls- example at split bathroom



↑ openings in the drywall at the butler pantry; above cabinets; both sides



↑ various cosmetic details incomplete; example at master hallway



↑ close view of image at left



↑ unworkmanlike flashing/trim; exposed decking



↑ close view of image at left



↑ unworkmanlike flashing/trim; opening to attic



↑ attic view of image at left; opening & daylight visible



↑ unworkmanlike eave/brick joint; open to eave



↑ close view of image at left



↑ thin mortar crack discovered at joint of stone & brick veneers; Significant issues were not observed concerning this



↑ seal top of exterior lights; example front entry



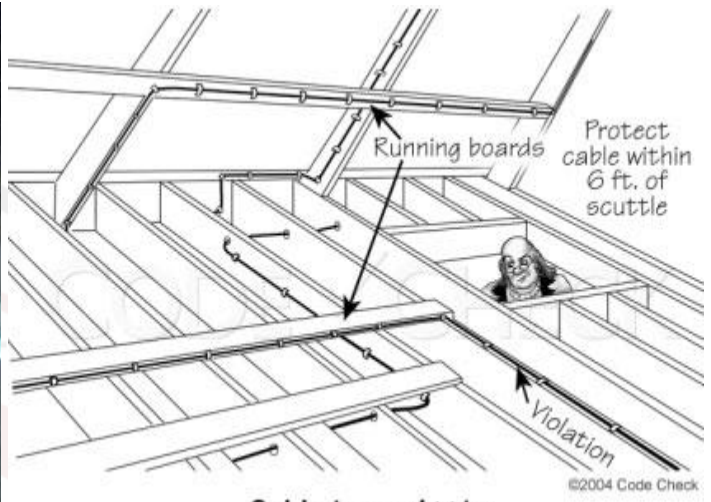
↑ close view of image at left



↑ seal top of exterior lights; garage



↑ chimney cap is concave rather than convex & trim/stone joints should be sealed / caulked



↑ Unprotected electrical wires within 6 feet of scuttle or 7 feet of attic stair



↑ disconnected water heater flue; should be seated & secured.



↑ dishwasher drain has a "kink" that will be prone to congestion, backup, and failure of the drain