

Select Inspect

Property Consultants, LLC

Inspection for Builder Warranty

Prepared exclusively for:

Client



at: 123 street; Little Elm, TX 75068

*The greatest compliment I can receive is a referral from you,
to a friend, family member, or coworker.*

Thank you for choosing Select Inspect.



Sincerely,

Bruce W. Carr

214-770-6954

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Highlighted sections contain one or more conditions noted as repair recommended & or deficient by the standards of TREC, ASHI, and/or in the professional opinion of your Inspector. Refer to the body of the report for details of discovered components / conditions.

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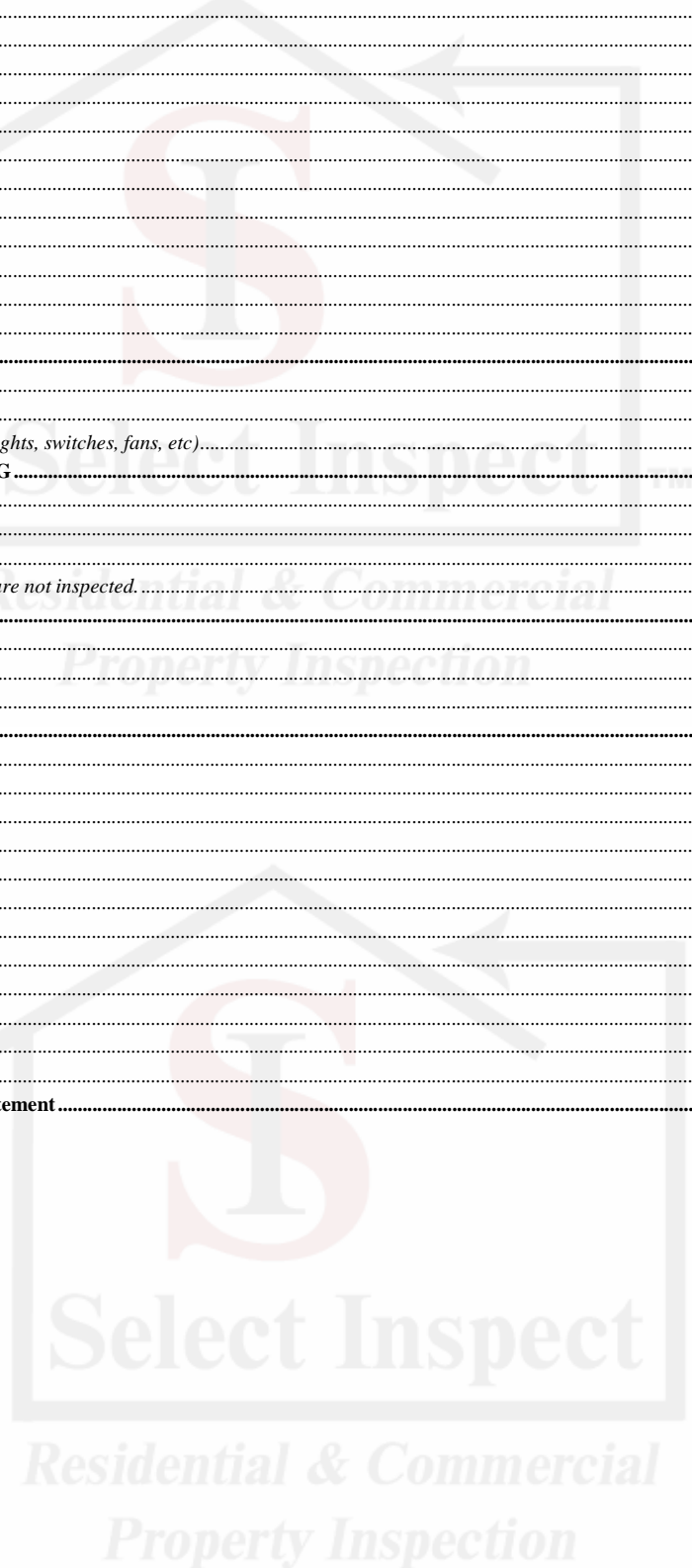
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September 3, 2010

This builder warranty inspection is limited to the following sections and comments. Portions and components of the property, not specifically noted in this document were found to be acceptable, with no need for comment, or were not inspected. Appliances and lawn irrigation systems were not inspected, unless otherwise noted in this document.

If changes are made to the structure that deviate from the original plans, you should obtain verification from the builder's engineer and or the local code inspection department for approval of modifications.

Building code is a minimum standard, and not a "perfect" methodology or standard. This is not a "code" inspection, as many cities adopt variations, amendments, and modifications of generally accepted building-code guidelines. If you have specific interest or concern regarding the home meeting "code", you should try to obtain or verify documentation of city / code inspection reports if available from your builder or local building officials.

Reinspection of repairs and additional visits to the property are not included with the original inspection fee. Reinspection will cost a minimum of \$150 for the first hour, and \$100 per hour (\$1.6~ per minute) after the first hour at the property

Property faces: **South** Occupied / obstructions present Vacant Vacant (with stored items / obstructions)

Weather: Temp: 75 - 80 Degrees approx. Dry Light Rain Rain Recent Rain Stormy Ice / Snow

Visibility: Clear Cloudy Overcast Moderate Winds High Winds Evening / Dark outside

Foundation Types at property: Slab on Grade Pier & Beam Screeded Floating

Roof: Composition Wood Shingle / Shake Tile Roll-Out Slate
 Artificial slate Built-Up / Asphalt / Bitumen Spanish Tile Metal / Copper Other

Roof Inspected from: Walking Roof Surfaces Ground with Binoculars Ladder at Eaves
 Most accessible Some areas Inaccessible Most Roof areas Inaccessible
 Too Steep / High Wet / Rain / Slippery Deemed unsafe to walk - injury/damage risk

Fireplace: Masonry: Prefab. Not present .

Chase: Masonry Frame & Siding Frame & Brick/Stone Not present

Flue: Masonry Metal Direct Vent Undetermined

Cap / Crown: Mortar Metal Inaccessible / undetermined

Inspected at: Ground / in home Roof (limited) Attic Attic Limited

IMPORTANT: A contract (Home Inspection Agreement) was provided and signed by you or your representative at the time of inspection. The contract contains important information related to the scope of this inspection, limitations, and other comments. If you have not already, please read the contract in its entirety, and contact us if you have any questions; 214-770-6954. Your business is important to me, and I appreciate your choosing Select Inspect.

I. STRUCTURE

Foundation

- Structural repair needs were not evident at the time of inspection. Cosmetic repair may be available through your builder's warranty. Settlement was indicated by the following:
- Mortar cracks noted at the upper left garage
- Foundation corner crack(s) discovered at the southwest
- Hairline drywall crack(s) at the breakfast nook & hall bathroom shower
- Ceiling crack (very small) noted at the breakfast nook vault.
- Drywall nails have popped through the painted interior surfaces at the northeast bedroom & hall bathroom. This is common, and is related to normal settling and shrinkage movements. Cosmetic repair needs would be subjective.
- Common cracking of the garage floor and or driveway concrete was noted. Monitor this item periodically and repair if / when needed.
- Concrete cracks were discovered at the garage floor; the discovered cracks did not appear to extend through the perimeter beam of the foundation.

- Regularly monitor the property and its components and arrange for repair if / when needed. Repairs should be made by qualified specialists whenever possible.
- Refer to your “Guide to Your Home Inspection” provided in your folder, or attached with this report, for information regarding foundation maintenance and monitoring.

Structure

INTERIOR WALL & CEILING STRUCTURE: often including, but not limited to conditions of foundation stress and or roof/attic structure stress.

Significant issues were not found or observed concerning the wall & ceiling structure at the time of inspection; common settlement cracks were discovered. Unsquare doors & or windows may be related to structural settlement/stress. In the limited time the inspector is at the home, it is difficult to determine whether the conditions are ongoing, have recently occurred, or at what time in the past they were active. It is not reasonable to determine on one visit if stress cracks are related to foundation or structural movements, or a combination of both. We recommend that you observe the area(s) over time. If issues are discovered, you should contact a specialist to examine the situation, and prescribe options for permanent repair.

EXTERIOR WALL STRUCTURE: often including, but not limited to conditions of foundation stress and or roof/attic structure stress.

Significant issues were not found or observed concerning the exterior structure at the time of inspection; exterior masonry cracks were discovered as noted in the foundation section above. In the limited time the inspector is at the home, it is difficult to determine whether the conditions are ongoing, have recently occurred, or at what time in the past they were active. It is not reasonable to determine on one visit if stress cracks are related to foundation or structural movements, or a combination of both. We recommend that you observe the area(s) over time. If issues are discovered, you should contact a specialist to examine the situation, and prescribe options for permanent repair.

Condition & appropriateness of the wall voids & related components such as vapor barrier, air space, drainage plane, potential mortar/debris obstructions, etc are mostly/all not readily accessible & not inspected. Incorrect conditions may allow moisture intrusion & or inability of the walls to properly dry from condensation. This could lead to fungal spore accumulation & related air & moisture damage issues.

Flashing was not seen at lintel locations above windows & doors; the lintels may be “L” channel, though without invasive measure this could not be determined. Condition & type of lintel & presence/absence of appropriate flashing/& drainage plane remains undetermined.

Other Structural Related:

Soil moisture/drainage conditions were discovered that may adversely affect the structure. Refer to the grading/drainage comments in the next section.

NOTE: most undesirable foundation issues in north Texas are caused by poor moisture maintenance around the home. refer to the next section “Grading & Drainage” for information that may be relative to foundation movement at this property.

Additional Information:

This report, including the foundation & structural opinion, represents one inspector’s opinion of visible evidence present and accessible on the day of the inspection. Future performance of the foundation and structure is not warranted. Regular maintenance is needed to keep the foundation from unusual movement or failure. Information concerning moisture maintenance and foundation control measures is at the end of this report.

The inspector’s opinion, based on observations of physical evidence, does not represent fact; factual information regarding the foundation and structure can be obtained through consultations with a professional engineer of your choosing. In the limited time the inspector is at the home, it is difficult to determine whether observed conditions are ongoing, have recently occurred, or at what time in the past they were active. We recommend you monitor the structure periodically in all cases. If issues are discovered, you should contact a specialist to examine the situation, so they may prescribe options for permanent repair. Opinions of performance and methods of maintenance, repair, or monitoring vary person to person.

Property Inspection

Site Drainage/Grading

- Soils around the home are dry, cracking, and pulling away from the foundation. This can cause foundation instability. Soils should be slowly, consistently rehydrated to provide support to the foundation. Moisture maintenance is imperative when living in areas of expansive clay soils, such as many regions of North Texas.
- Example dehydrated soils at the east



Guttering/Roof Drainage:

- Gutters were not present. Consider adding large flat stones or other non-cellulose, non-erosive materials below valleys and other rain run-off locations to preserve adequate grade slope and avoid erosion.

Roofing

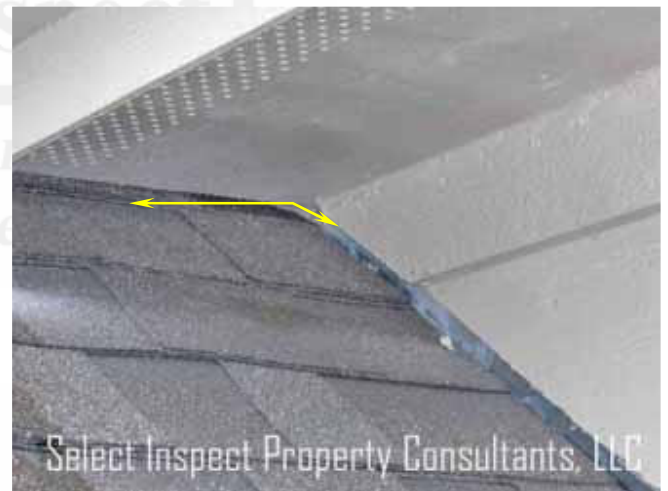
- Recommend sealing the corners of the chimney cap; exposed wood was visible beneath & is prone to decay & moisture intrusion.



- ✦ Slight wear discovered at shingles adjacent the furnace flue; Significant issues were not discovered regarding this specific condition; monitor & maintain.



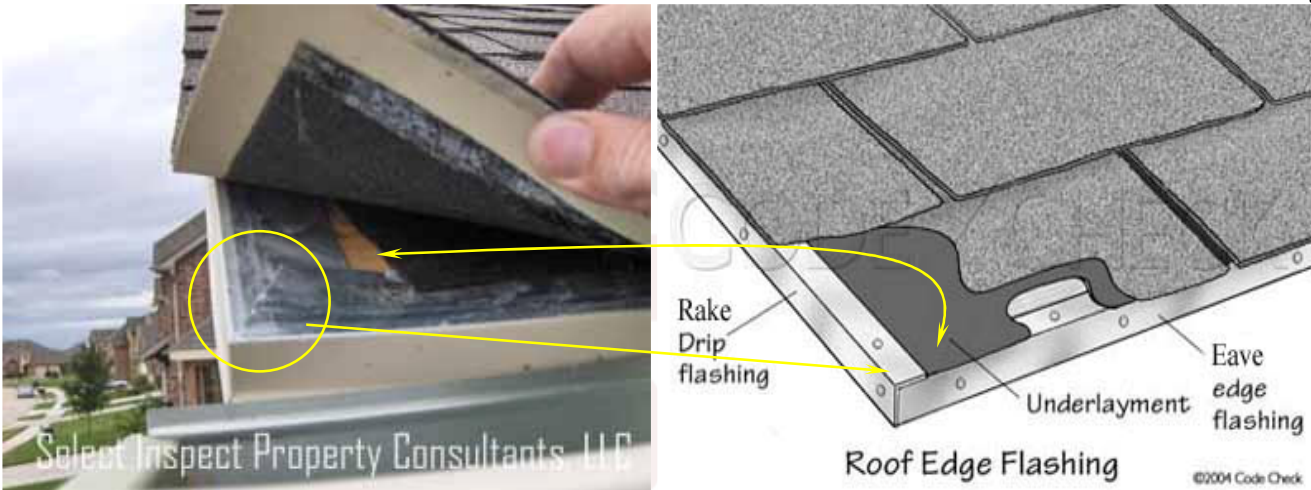
↑ short flashing remains; openings may allow moisture intrusion in driving rains



↑ close view of image at left



↑ unworkmanlike drip edge flashing & felt remains at southwest; poor/excess cut & opening

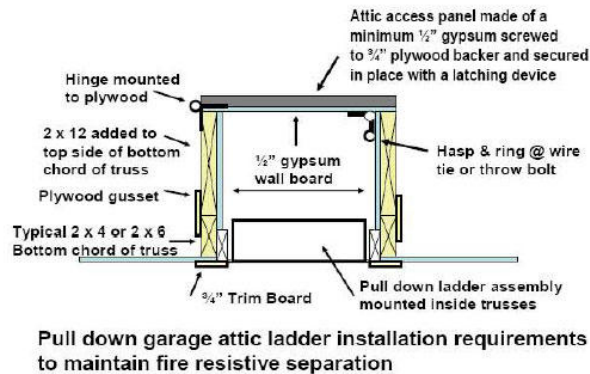


↑ unworkmanlike drip edge flashing & felt remains at southeast; high side should be folded atop the low side.

Attic

Access:

- ✦ The access panel at the garage attic access was not adequate material and would not meet separation required for fire-spread at attached garages. The access cover is a sheet of thin plywood. When installed in a garage ceiling, this replaces a portion of the required separation created by drywall board, thereby breaching the required separation. IRC R309.2
 - Option 1: Minimum 1 hour fire-rated material should be installed on the garage side of the hatch/door. Edges around the covering shall be tight to the surrounding ceiling.
 - Option 2: Installing 5/8" drywall to separate the garage attic and at the rafters to at least 4 feet into the then separated garage attic to isolate the garage attic from attic space(s) above or adjacent living areas; taping/bedding all seams should be made to finish the firewall.
 - Option 3: Installing a fire-resistant enclosure in the attic above the garage access; An example of this is shown in the following image.



Structure:

Insulation:

Attic Ventilation:

- ✦ Obvious/significant deficiencies were not discovered; monitor and maintain

Interior (walls, ceilings, floors)

Wall:

- ✦ Drywall is missing or damaged at the garage ceiling and or walls. This detracts from separation / protection requirements for attached garages. Drywall repair is recommended.
- ✦ Recommend sealant touch-up (caulking) at the top tile/panel edge joint to the wall; at the master shower. This will reduce potential for moisture intrusion and fungal accumulation on the shower substrate (between the shower and walls)

Cabinetry/Countertop:

- Granite countertops, if present, are not tested for presence of or levels of uranium or radiation. Related information can be found at: <http://selectinspect.com/links1.htm#radonlink>

Ceiling:**Floor:**

- Obvious/significant deficiencies were not discovered; monitor and maintain

Exterior Walls & Structure

- Obvious/significant deficiencies were not discovered; monitor and maintain

Doors**Interior:**

- Obvious/significant deficiencies were not discovered; monitor and maintain

Exterior:

- Energy loss was noted at the bottom of the front door; homeowner reported dirt/sand blowing in during heavy weather; consider adjusting the door, improving weatherstrip, & or adding a storm door.
- ADVISORY: Current standards recommend the door(s) from the home to an attached garage be self-closing. The door(s) at this home did not meet this recommendation; some municipalities do not enforce this. However, I recommend improvement to help prevent fumes (specifically auto exhaust) in the garage from entering the living area, and to maintain the required "attached garage-to-home separation", if such a separation is present, in tact, well sealed, & functional. Some call this a "fire-wall", but all components involved would have to have an approved fire rating, though a proper "separation" will offer some resistance & increased burn time before compromising the residence. If there is an attic with a common ladder door assembly in the garage, your separation wall is likely already compromised.

Garage / Overhead:

- Garage door operator bracket was inadequately secured to the door; stress was noted at steel door & bracket/bolt

**Windows**

- Obvious/significant deficiencies were not discovered; monitor and maintain
- NOTE: Some windows were partially inspected or had limited access, due to furnishings, lighting conditions, window treatments, etc. Some conditions may remain undetermined.

Fireplace & Chimney**Hearth / fire box:****Damper:****Flue:****Chimney / Chase:**

- Obvious/significant deficiencies were not discovered; monitor and maintain

Cap / Crown:

- Sealant is needed to prevent moisture intrusion at the cap corners.

Fireplace Gas:

- Operable

Porch, Deck, Carport, Balcony

- Obvious/significant deficiencies were not discovered; monitor and maintain

II. ELECTRICAL**Electrical Service**

- Electrical ground rod was not flush with the grade. "Electrical ground rod shall have at least 8' of length in contact with the soil and the upper end of the electrode must be flush with / below ground level unless above ground portion and grounding electrode conductor attachment is protected against physical damage. NEC 250-52 (c) (3)". This includes rod electrodes installed inside through concrete slabs.

Grounding rods are typically sold as 8 foot lengths; since the upper end of the rod has been left above grade, it is most likely not in contact with the soil for 8 feet as required. Since much of the rod is buried, the suspected condition cannot be confirmed nor discredited during this limited visual inspection. The grounding electrode connection is prone to physical damage and should be protected and secured to the structure or service riser. The rod should be covered with compacted soil or driven deeper into the soil. A grounding rod that protrudes from the ground / grade may also present an impalement hazard. Repair options are limited; and though this is technically incorrect, proper installation methods are rarely discovered, and frequently ignored by installers and city building code officials.

**Electrical Panel(s)**

- The panel cover was obstructed by stored items. It is beyond the scope of this inspection and the standards of the Texas Real Estate Commission for the inspector to move personal items or storage. The cover was not removed, and the interior of the panel box was not inspected.

Electrical Branch Circuits (outlets, lights, switches, fans, etc)**GFCI:**

- ✦ One or more refrigeration appliances were on a GFCI circuit. This is not recommended as if the circuit trips when no one is home, there is a risk of food spoilage. Also, these appliances do not always restart if the circuit is tripped and reset. Consider consulting an electrician to appropriately modify these circuits, or at the least be aware of the condition and monitor. This condition was noted at the garage. Garage and exterior outlets were therefore not GFCI tested.

Outlets:**Lights:****Switches:**

- ✦ Obvious/significant deficiencies were not discovered; monitor and maintain

Smoke detection device:

- ✦ The home is approximately one-year of age; it is time to change the batteries in your smoke detectors. It is recommended to test batteries monthly, change batteries annually, and to change the detector itself at least once every ten years.

Other Electrical:

- ✦ Alarm system plug at the attic was inadequately secured; need to remove plug, remove receptacle cover screw, secure plug to receptacle with screw provided with the plug; both screws are phillips head.

**III. HEAT & AIR CONDITIONING****Heating Equipment**

- ✦ Operable

Cooling Equipment

- ✦ Temperature differential between the return(s) and supply at the HVAC unit(s) was approximately 20 ° at the time of inspection; 15°-22° is generally the acceptable range.
- ✦ It is recommended to have the evaporator(s) serviced/cleaned at least every 2 years. The evaporator interior(s) was inaccessible; this is common as most do not have readily accessible panels. This limits the inspection of many HVAC components. Monitor this item periodically and repair if / when needed. If documented history of service is unavailable, recommend you consider having this professionally examined and cleaned before closing.

Ducting, Vents, Plenums, & Filters

- ✦ Obvious/significant deficiencies were not discovered; monitor and maintain

Thermostats Programming features are not inspected.

- ✦ Prior to departure Thermostats were reset to "as found on arrival" by the inspector.

IV. PLUMBING**Plumbing; Supply / Fixtures****Supply:**

- Water pressure was approximately 74 psi; 40-80 psi is recommended range.
- Shut-off-valve box was under bark/mulch & not found

Sink:

- Obvious/significant deficiencies were not discovered; monitor and maintain

Toilet:

- Flapper needs adjustment/replacement; slight leakage occurs from the tank, then subsequent refill; this is wasting water continuously

Bathtub:**Shower:****Exterior faucet:**

- Obvious/significant deficiencies were not discovered; monitor and maintain

Utility room / Other:

- Laundry room sink inspected; operable
- Laundry room appliances & laundry connections were obstructed & not inspected

Drain, Waste, Vent

- Obvious/significant deficiencies were not discovered; monitor and maintain

Water Heater(s)

- **ADVISORY:** It is recommended to have the temperature-pressure-relief tested annually (device was tested, operable & reset; no issues discovered during the inspection), and have the temperature-pressure-relief removed and visually inspected every three years or sooner. Most manufacturers also recommend draining / flushing the water heater at least once annually. The unit was producing hot water and appeared generally operable at the time of inspection. Recommend having the unit(s) fully examined and serviced by a plumber at least every 2-3 years for routine maintenance. Average life of a water heater is 10-12 years.

V. APPLIANCE & OTHER

Dishwasher:

Disposal:

Doorbell:

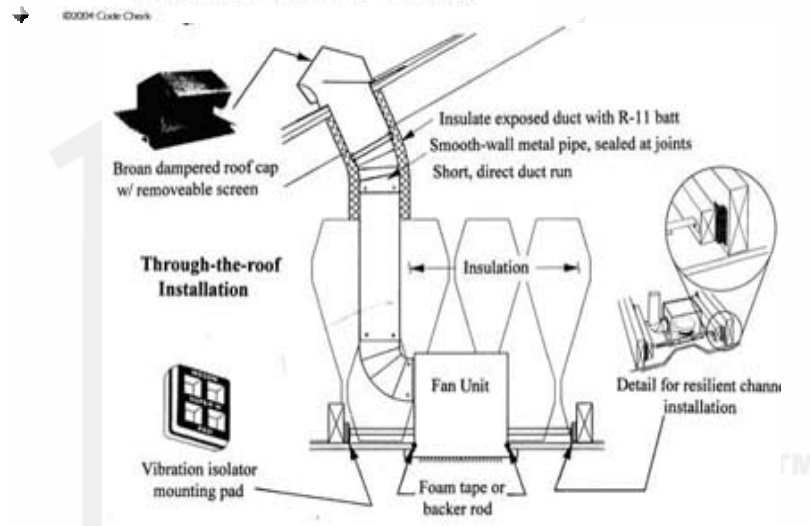
- Operable

Dryer vent:

- Significant issues were not discovered regarding this specific condition; monitor & maintain
- The dryer vent appeared to be routed upward. Measuring the exact length is beyond the scope of this inspection. Upward venting dryer ducts are more prone to clogging than shorter horizontal vents; have this professionally cleaned every 2-3 years for safety..

Exhaust fan(s):

- Some / all bathroom /laundry exhaust fans appear to vent to the eaves/attic. Vent termination within the attic, at passive roof vents, or at eave vents does not meet most manufacturer guidelines. Current standards require venting of bathroom and utility room exhaust fully to the exterior. (IRC M1507). Texas Real Estate Commission considers this deficient, even on older homes. Related technical information can be found at: <http://www.toolbase.org/PDF/DesignGuides/spotventilation1.pdf>



Garage door operator:

- Bracket was inadequately secured to the door component(s)

Kitchen vent:

Microwave:

Oven:

Range / stove:

- ✦ Operable; Obvious/significant deficiencies were not discovered; monitor and maintain

Irrigation (sprinkler system)

- ✦ Deficient head (cap) exists at the northwest corner; zone 5



- ✦ Refer to your “Guide to Your Home Inspection” for information related to irrigation maintenance and watering tips for your foundation.

Gas Components:

- ✦ Movement at the gas meter was not evident when tested. Leakage between the meter and interior pilots / valves was not found. This portion of the system appears satisfactory. Monitor this item periodically and repair if / when needed.

Photographs within this document are of random components and or conditions that may have been noted as “in need of repair”. These are included to be used as a partial visual aid in assistance for a better understanding regarding some of the components / conditions that were noted in the inspection report. All “repair / correction recommended” comments in the main report are not pictured here; some of these images may include more than one condition. For information regarding details of the components or conditions in the following images, refer to the body of the main report. This document is not to be used without the other pages of the home inspection report. This is only a complimentary addition to the inspection report, and should be viewed as such.

Thank you for your business. The greatest compliment I can receive is a referral from you to a family member or friend. When you meet someone buying a home, please remember to mention Select Inspect. Please call our office anytime if we may be of further service.

Other important information is continued on the following pages

Limitations & Scope of Inspection Statement

Your contract contains important information; if you have not yet read the contract in its entirety, please do so.

If a concern arises, regarding this report, you must notify Select Inspect prior to purchasing the property, and allow us to reinspect the property and or components of concern prior to any changes being made to the components or condition of concern. Otherwise, all claims for damages or costs incurred from those complaints and related improvements, modification or repair are waived by the client.

Select Inspect makes no representation except what is specifically contained within this document and the Select Inspect Inspection Contract. This report and the Select Inspect Inspection Contract are the sole and only agreement between Select Inspect and the client, and supersedes any prior written, verbal, or implied agreements between the client and Select Inspect regarding content within the Select Inspect Property Report, and Inspection Contract.

By acceptance of and or reliance upon information in this report, the client agrees that any potential controversy or claim between the client and Select Inspect shall in good faith be brought to mediation by a third party, having no interest in this case, before filing suit for any amount of damages. By acceptance of and or reliance upon information in this report, the client agrees that any damages resulting from breach of this contract or report are limited to the fee charged to the client by Select Inspect for this inspection service.

By accepting and relying on the information within these documents, the client expressly agrees to all agreements and limitations herein. The inspection is cursory and limited. The findings represent observed conditions at the property on the day and time of the inspection. This is not a fully comprehensive inspection, and there may be items or conditions that are not discovered. Though reference to current standards or the word "code" may be noted in portions of this document, Select Inspect does not inspect the property for compliance to prior, current, or future "code" regulations. The service attempts to reduce risk, but cannot eliminate all risk of purchasing any property. Select Inspect does not warrant or guarantee that all conditions will be discovered. Protection regarding errors and omissions are not stated nor implied. Comprehensive inspections of components and areas of the property can be arranged for through specialists in each given field. The inspector does not offer opinions regarding value or whether the property should be purchased. It is strongly recommended to obtain any available municipal inspection reports, and builder warranty information.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any previous inspection or engineering reports, municipal inspection departments, lenders, insurers, and appraisers.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary reader of this information should hire a licensed inspector to perform an inspection to meet your specific needs and to obtain current information concerning this property.

Select Inspect does not make or imply any guarantees, warranties, nor does Select Inspect insure or warrant the future performance of any component, whether it is listed or not listed within this report. Warranties are available from home warranty firms, and should be purchased from one of your choosing, if desired.

We do not compare components and conditions to "code" or determine if components and conditions are compliant to current code requirements, as there are variations and amendments to code in basically every Texas city. We cannot possibly keep up with different regulations in every municipality. We do not determine insurability of any part of the property. We do not guarantee to identify recalled components or systems. The Consumer Product Safety Commission (CPSC) website has a detailed listing of recalled products that you should examine if you are concerned.

This report does not prioritize the inspector's findings. Whenever possible, it is recommended that all repairs be made. As a minimum, Select Inspect strongly recommends that any and all safety and health issues including but not limited to: fire safety, electrical, HVAC, moisture intrusion / leakage, fungal, and structural failure concerns be examined by a licensed or occupationally certified specialist in the respective field. Repairs should then be made without delay.

Select Inspect is committed to providing the best possible services to the client, in an efficient, professional manner, and to report discoveries to the client in an understandable format. Select Inspect inspectors will represent Select Inspect in a professional and courteous manner, and we will be respectful to our clients, to all parties involved, and to the properties at which our business is performed. The client, their personal information, this report, and information about the home are not offered or distributed to other persons or affiliations, unless specifically requested by the client.

It is important to understand that this inspection is a first step towards gaining a partial understanding of the property condition. The inspector uses a systematic and limited method of inspection that attempts to identify and report issues of concern however the inspection is time limited, general in nature and subject to human error. The inspectors opinion can vary from the opinion of other persons. The inspection is very good at reducing risk but it does not eliminate risk. If these limitations or this service does not meet your needs call our office about comprehensive inspection services.

This inspection does not inspect for the presence or conditions conducive to mold and microbiologicals. If the inspector sees a suspect condition (fungus) it may be reported as a supplemental and incomplete comment, but it does not mean the inspector saw and reported all mold conditions. Unless stated, the inspection does not determine prior wetting / flooding and / or insurance histories and any comment regarding such would be incomplete. The inspector does not use special tools to detect moisture in inaccessible areas.

End of Written Report

Thank you for choosing Select Inspect. Contact our office with any questions. 214-770-6954

TREC # 5281
ASHI Member # 211804
SPCB CA # 43624



*Residential & Commercial
Property Inspection*